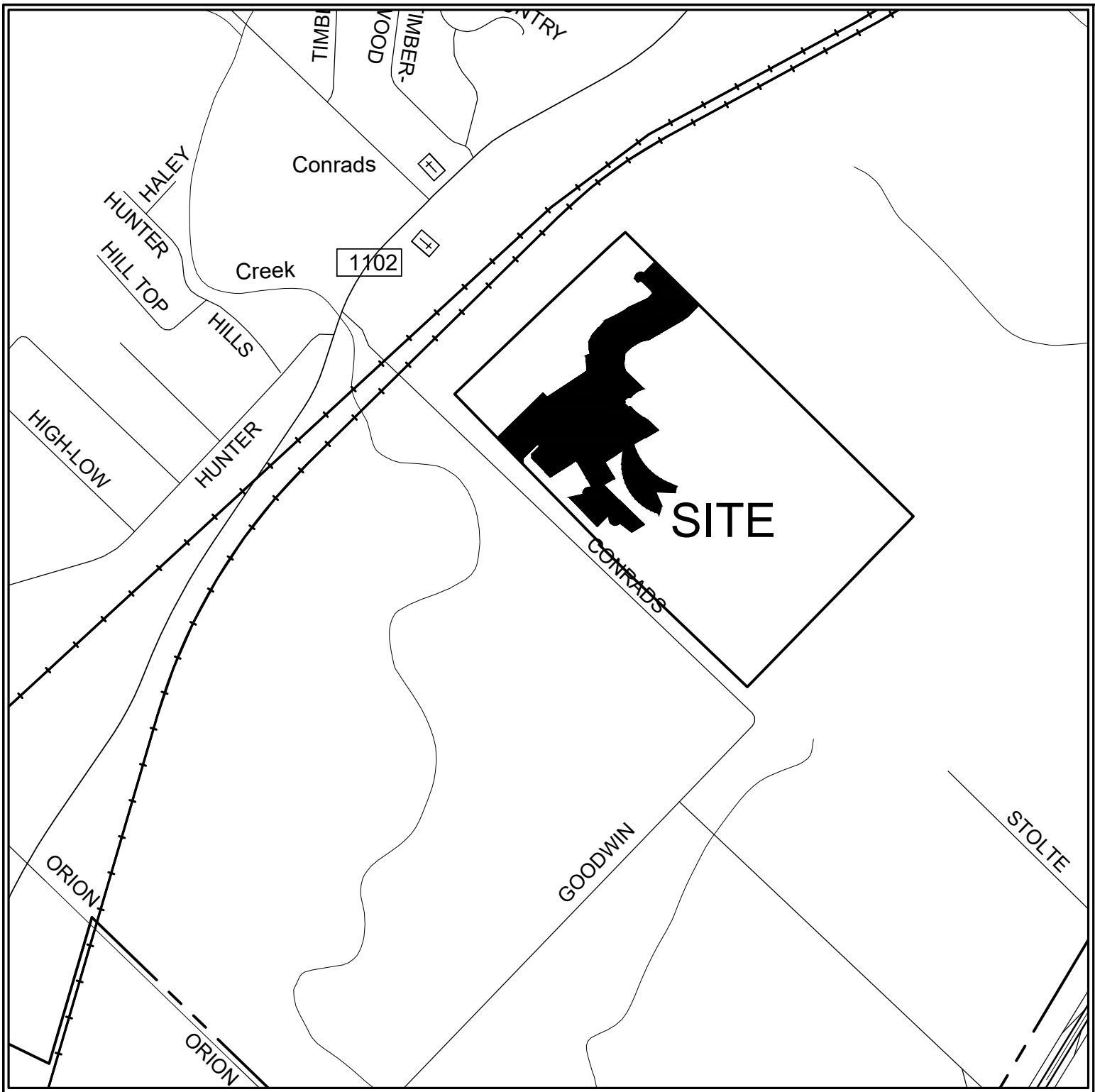


Drawing Name: N:_Projects\056 - Milestone Properties\056.018 - Cloud Country Unit 6\056.018_C006.dwg User: jphnm Aug 07, 2020 - 11:59am



PROJECT LOCATION MAP SCALE: N.T.S.

PROJECT BENCHMARK

SITE TBM #1
SET 1/2" IRON PIN W/CAP "HMT CONTROL"
N: 13826323.1316'
E: 2263098.7974'
ELEV: 713.10'

SITE TBM #2
SET COTTON SPINDLE
N: 13825996.9309'
E: 2263488.6459'
ELEV: 741.01'

LEGAL DESCRIPTION

BEING A 30.55 ACRE TRACT OF LAND OUT OF THE NANCY KENNER LEAGUE SURVEY NO. 3, ABSTRACT NO. 306, AND OUT OF THE ORILLA RUSSELL SURVEY NO. 2, ABSTRACT NO. 485, COMAL COUNTY, TEXAS, BEING A PORTION OUT OF THE REMAINDER OF A CALLED 70.688 ACRE TRACT RECORDED IN DOCUMENT NO. 200406000885, AND A PORTION OUT OF THE REMAINDER OF A CALLED 47.503 ACRE TRACT RECORDED IN DOCUMENT NO. 200406042413, AND A PORTION OF THE REMAINDER OF A CALLED 72.421 ACRE TRACT RECORDED IN DOCUMENT NO. 200206041209, OFFICIAL PUBLIC RECORDS, COMAL COUNTY, TEXAS.

PLEASE NOTE: NBU REQUIRES GPS POINTS FOR CERTAIN ELECTRIC, WATER AND WASTEWATER ATTRIBUTES, SOME OF WHICH MUST BE TAKEN PRIOR TO BACKFILL DURING CONSTRUCTION.

GPS POINTS SHALL BE REQUIRED FROM THE DEVELOPER'S CONTRACTOR OR ENGINEER. A MINIMUM OF THREE COORDINATE POINTS FOR GEOREFERENCING SHALL BE REQUIRED. THE WATER AND WASTEWATER GPS POINTS SHALL BE TO SURVEY GRADE. THE ELECTRIC GPS POINTS SHALL BE TO MAP GRADE.

WATER
VERTICAL BENDS AND EDGE OF STEEL CASING (IF APPLICABLE) PRIOR TO BACKFILL
HORIZONTAL BENDS PRIOR TO BACKFILL
TEES PRIOR TO BACKFILL
FITTINGS (REDUCERS AND COUPLINGS) PRIOR TO BACKFILL
FIRE HYDRANTS (TOP OF FLANGE)
VALVES
METERS (TOP CENTER OF BOX)
BLOW OFF ASSEMBLY
CORNER SLAB OF WATER TANK & GATE VALVE ON WATER TANK

WASTEWATER
MANHOLES
CLEANOUTS
CORNER SLAB OF LIFT STATION

ELECTRIC
POLES
TRANSFORMERS, BOTH ABOVE AND UNDERGROUND (FRONT LOCK)
PULL BOXES
STREET LIGHTS

COORDINATE GPS REQUIREMENTS WITH NBU INSPECTOR

GENERAL NOTES:

- IF CONSTRUCTION HAS NOT COMMENCED WITHIN ONE-YEAR OF CITY APPROVAL FOR CONSTRUCTION INSPECTION, THAT APPROVAL IS NO LONGER VALID.
- THE MOST CURRENT EDITIONS OF THE CITY OF SAN ANTONIO STANDARD SPECIFICATIONS AND THE TEXAS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION OF HIGHWAYS, STREETS AND BRIDGES SHALL BE FOLLOWED FOR ALL CONSTRUCTION EXCEPT AS AMENDED BY THE CITY OF NEW BRAUNFELS STANDARD DETAILS.
- ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER OF RECORD. IN ACCEPTING THESE PLANS, THE CITY OF NEW BRAUNFELS MUST RELY UPON THE ADEQUACY OF THE WORK OF THE ENGINEER IN RECORD.
- PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR SHALL CONTACT THE CITY OF NEW BRAUNFELS TO SET A PRE-CONSTRUCTION MEETING. A 48-HOUR ADVANCED NOTIFICATION IS REQUIRED FOR ALL INSPECTION AND MEETING REQUESTS.
 - ALL INSPECTIONS ARE TO BE CALLED IN AT 830-221-4068 OR,
 - FAXED IN AT 830-608-2117 OR,
 - E-MAILED AT INSPECTIONS@NBTEXAS.ORG.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO SEE THAT ALL TEMPORARY AND PERMANENT TRAFFIC CONTROL DEVICES ARE PROPERLY INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE PLANS AND LATEST EDITION OF THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. IF THE NEED ARISES, ADDITIONAL TEMPORARY TRAFFIC CONTROL DEVICES MAY BE ORDERED BY THE ENGINEERING REPRESENTATIVE AT THE CONTRACTOR'S EXPENSE.
- DRAINAGE IMPROVEMENTS SUFFICIENT TO MITIGATE OFFSITE IMPACT OF CONSTRUCTION MUST BE COMPLETED AND IN PLACE PRIOR TO ADDING IMPERVIOUS COVER TO THE SITE.
- THIS DEVELOPMENT IS A TYPE 3 DEVELOPMENT.
- NO PORTION OF THE SUBDIVISION IS LOCATED WITHIN ANY SPECIAL FLOOD HAZARD AREA (100 YR. FLOOD), AS DEFINED BY THE COMAL COUNTY, TEXAS, FIRM PANEL NUMBER 48091C0290F EFFECTIVE DATE SEPTEMBER 2, 2009, AS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
- THIS PROJECT IS NOT LOCATED WITHIN THE EDWARDS AQUIFER RECHARGE ZONE.



ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER OF RECORD. IN ACCEPTING THESE PLANS, THE CITY OF NEW BRAUNFELS MUST RELY UPON THE ADEQUACY OF THE WORK OF THE ENGINEER OF RECORD.

Christopher P. Van Heerde
P.E. Registration No. 93047

PREPARED BY:



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HMTNB.COM
P(830)625-8555*F(830)625-8556
TBPE FIRM F-10961
TBPLS FIRM 1053600

NOTE TO CONTRACTOR:

BY THE ACT OF SUBMITTING A BID FOR THIS PROPOSED CONTRACT, THE BIDDER WARRANTS THAT THE BIDDER, AND ALL SUBCONTRACTORS AND MATERIAL SUPPLIERS HE INTENDS TO USE HAVE CAREFULLY AND THOROUGHLY REVIEWED THE DRAWINGS, SPECIFICATIONS AND ALL OTHER CONTRACT DOCUMENTS AND HAVE FOUND THEM COMPLETE AND FREE FROM ANY AMBIGUITIES AND SUFFICIENT FOR THE PURPOSE INTENDED. THE BIDDER FURTHER WARRANTS THAT TO THE BEST OF HIS OR HIS SUBCONTRACTORS' AND MATERIAL SUPPLIERS' KNOWLEDGE, ALL MATERIALS AND PRODUCTS SPECIFIED OR INDICATED HEREIN ARE ACCEPTABLE FOR ALL APPLICABLE CODES AND AUTHORITIES.

THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THESE PLANS HAS BEEN BASED UPON RECORD INFORMATION ONLY AND MAY NOT MATCH LOCATIONS AND/OR DEPTHS AS CONSTRUCTED. THE CONTRACTOR SHALL CONTACT EACH OF THE INDIVIDUAL UTILITIES FOR ASSISTANCE IN DETERMINING EXISTING UTILITY LOCATIONS AND DEPTHS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTRACTOR SHALL FIELD VERIFY LOCATIONS OF ALL UTILITY CROSSINGS PRIOR TO BEGINNING ANY CONSTRUCTION.

CLOUD COUNTRY UNITS 6 & 8 NEW BRAUNFELS, TEXAS CIVIL SITE CONSTRUCTION PLANS

MILESTONE PROPERTIES
P.O. BOX 6862
SAN ANTONIO TX 78209

REQUIRED PERMITS	NUMBER
1. CITY OF NEW BRAUNFELS	#
2. NEW BRAUNFELS UTILITIES	W-165516, WW-165517

AUGUST 2020

Sheet List Table	
Sheet Number	Sheet Title
C1.00	COVER SHEET
C1.01	CONSTRUCTION NOTES (1 OF 2)
C1.02	CONSTRUCTION NOTES (2 OF 2)
C2.00	APPROVED MASTER PLAN
C2.01	UNIT 6 PLAT (1 OF 2)
C2.02	UNIT 6 PLAT (2 OF 2)
C2.03	UNIT 8 PLAT (1 OF 2)
C2.04	UNIT 8 PLAT (2 OF 2)
C3.00	EXISTING DRAINAGE AREA MAP
C3.01	PROPOSED DRAINAGE AREA MAP
C3.02	ULTIMATE DRAINAGE AREA MAP
C4.00	EROSION CONTROL PLAN
C4.01	EROSION CONTROL DETAILS
C5.00	GRADING PLAN (1 OF 2)
C5.01	GRADING PLAN (2 OF 2)
C5.02	GRADING DETAILS
C6.00	NIMBUS PATH & TORNADO RIDGE PLAN & PROFILE
C6.01	GRAY CLOUD PLAN & PROFILE
C6.02	STARBRIGHT 1 AND 2 PLAN & PROFILE
C6.03	CLOUDY SKY PLAN & PROFILE
C6.04	CLOUDY SKY KNUCKLE PLAN & PROFILE
C6.05	TWIN DISH PLAN & PROFILE
C6.06	TWIN DISH KNUCKLE PLAN & PROFILE
C6.07	BILLOW COVE PLAN & PROFILE
C6.08	THUNDER DRIVE PLAN & PROFILE
C6.09	THUNDER KNUCKLE PLAN & PROFILE
C6.10	ALTO STRATUS PLAN & PROFILE
C6.11	ALTO STRATUS KNUCKLE PLAN & PROFILE
C6.12	RAIN CLOUD PLAN & PROFILE
C6.13	HURRICANE TRAIL PLAN & PROFILE
C6.14	HURRICANE TRAIL KNUCKLE PLAN & PROFILE
C6.15	MOONDANCE PLAN & PROFILE
C6.16	MOONDANCE CUL-DE-SAC PLAN & PROFILE
C6.17	CONRAD LANE IMPROVEMENTS STA 1+00-8+40
C6.18	CONRAD LANE IMPROVEMENTS STA 8+40-15+30
C6.19	CONRAD LANE IMPROVEMENTS STA 15+30-END
C6.20	CONRAD LANE DETAILS
C6.21	SIGNAGE PLAN
C6.22	STREET DETAILS (1 OF 2)
C6.23	STREET DETAILS (2 OF 2)
C7.00	OVERALL STORM
C7.01	CHANNEL A1 PLAN & PROFILE
C7.02	CHANNEL A1 CROSS SECTIONS
C7.03	CHANNEL A1c PLAN & PROFILE
C7.04	CHANNELS A2 & A3 PLAN & PROFILE
C7.05	CHANNEL B1 PLAN & PROFILE
C7.06	CHANNEL B2 PLAN & PROFILE
C7.07	BASIN A
C7.08	BASIN B
C7.09	STORM DETAILS (1 OF 2)
C7.10	STORM DETAILS (2 OF 2)
C8.00	OVERALL WATER (1 OF 2)
C8.01	OVERALL WATER (2 OF 2)
C8.02	WATER DETAILS
C9.00	OVERALL WASTEWATER
C9.01	WWTR LNS A & B PLAN & PROFILE
C9.02	WWTR LN C PLAN & PROFILE
C9.03	WWTR LN D PLAN & PROFILE (1 OF 2)
C9.04	WWTR LN D PLAN & PROFILE (2 OF 2)
C9.05	WWTR LN E PLAN & PROFILE
C9.06	WWTR LNS F & G PLAN & PROFILE
C9.07	WASTEWATER DETAILS (1 OF 2)
C9.08	WASTEWATER DETAILS (2 OF 2)
C10.00	DRY UTILITY PLAN

CLOUD COUNTRY UNITS 6 & 8
CIVIL SITE CONSTRUCTION PLANS

HMT # 056.018

ALL UTILITY TRENCH COMPACTION TESTS WITHIN THE STREET PAVEMENT/SIDEWALK SECTION SHALL BE THE RESPONSIBILITY OF THE DEVELOPER'S GEOTECHNICAL ENGINEER. FILL MATERIAL SHALL BE PLACED IN UNIFORM LAYERS NOT TO EXCEED TWELVE INCHES (12") LOOSE. DETERMINE THE MAXIMUM LIFT THICKNESS BASED ON THE COMPACTION METHOD TO BE USED. THE COMPACTION METHOD TO BE USED SHALL BE DENSITY OR MOISTURE. EACH LAYER OF MATERIAL SHALL BE COMPACTED TO A MINIMUM 95% DENSITY AND TESTED FOR DENSITY AND MOISTURE IN ACCORDANCE WITH TEST METHODS TEX-113-E, TEX-114-E, TEX-115-E. THE NUMBER AND LOCATION OF REQUIRED TESTS SHALL BE DETERMINED BY THE GEOTECHNICAL ENGINEER AND APPROVED BY THE CITY OF NEW BRUNSWICK. THE CITY OF NEW BRUNSWICK WILL BE RESPONSIBLE FOR THE TESTING OF THE FILL FOR EACH LIFT AND EVERY OTHER SERVICE LINE. UPON COMPLETION OF TESTING THE GEOTECHNICAL ENGINEER SHALL PROVIDE THE CITY OF NEW BRUNSWICK STREET INSPECTOR WITH ALL TESTING DOCUMENTATION AND A CERTIFICATION STATING THAT THE PLACEMENT OF FILL MATERIAL HAS BEEN COMPLETED IN ACCORDANCE WITH THE PLANS. ADDITIONAL DENSITY TESTS MAY BE REQUESTED BY THE CITY OF NEW BRUNSWICK INSPECTOR.

CURB CUT DUE TO CONSTRUCTION OF NEW RIGHT-OF-WAY CONSTRUCTION
(INDICATE THE 2 OPTIONS ON THE CONSTRUCTION PLANS).
1.SAWCUT EXISTING STREET AND MATCH TO NEW CONSTRUCTION.
2.SAWCUT EXISTING CURB TO TIE INTO EXISTING CONSTRUCTION.

CONSTRUCTION STABILIZED ENTRANCE
SAWCUT CURB FOR CONSTRUCTION ENTRANCE.

STABILIZED CONSTRUCTION AREA SHALL BE CONSTRUCTED OF 3"x5" ROCK TO BE PLACED A MINIMUM LENGTH OF 25'-FT. AND MAINTAINED SO THAT CONSTRUCTION DEBRIS DOES NOT FALL WITHIN THE CITY RIGHT-OF-WAY. RIGHT- OF-WAY MUST BE CLEARED FROM MUD, ROCKS, ETC. AT ALL TIMES.
(NOTES TO BE PLACED ON ALL WW PLAN & DETAIL SHEETS)
ENSURE ALL DRIVEWAY APPROACHES ARE BUILT IN GENERAL ACCORDANCE WITH A.D.A. SPECIFICATIONS. NO VALVES, HYDRANTS, ETC. SHALL BE CONSTRUCTED WITHIN CURBS, SIDEWALKS, OR DRIVEWAYS.

SIGNING AND PAVEMENT MARKING PLAN NOTES
THE CONTRACTOR SHALL FURNISH AND INSTALL ALL REGULATORY AND WARNING SIGNS, STREETS NAME SIGNS AND SIGN MOUNTS IN ACCORDANCE WITH APPROVED ENGINEERING PLANS. THE CITY WILL INSPECT ALL SIGNS AT FINAL INSPECTION.

THE CONTRACTOR SHALL INSTALL ALL PAVEMENT MARKINGS IN ACCORDANCE WITH APPROVED ENGINEERING PLANS. THE CONTRACTOR SHALL NOTIFY THE CITY AT LEAST TWENTY-FOUR (24) HOURS PRIOR TO THE INSTALLATION OF ALL SEALER AND FINAL MARKINGS. THE CITY WILL INSPECT ALL MARKINGS AT FINAL APPLICATION.


SEEDING AND ESTABLISHMENT OF VEGETATION WITHIN EARTHEN CHANNELS, STORMWATER BASINS AND DISTURBED AREAS
SEEDING FOR THE PURPOSE OF ESTABLISHING VEGETATION WITHIN CONSTRUCTED EARTHEN CHANNELS, BASINS AND DISTURBED AREAS SHALL BE CONDUCTED IN ACCORDANCE WITH ITEM 164 (SEEDING FOR EROSION CONTROL) OF TXDOT'S STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MAINTENANCE OF HIGHWAYS, STREETS AND BRIDGES MANUAL. ONLY SEED TYPES AND MIXES SPECIFIED FOR THE SAN ANTONIO DISTRICT (DISTRICT 15) IN TABLES 1 AND 2 UNDER ITEM 164 SHALL BE UTILIZED. DURING THE COOL SEASON (SEPT 1-NOV 30), CEREAL RYE AND SEED SPECIES SPECIFIED FOR THE SAN ANTONIO DISTRICT IN TABLE 3 MAY BE USED. FOR COOL SEASON SEEDING APPLICATIONS, COOL SEASON SEED MIXES SHALL BE USED IN CONJUNCTION WITH SEED MIXES FOR THE SAN ANTONIO DISTRICT AS SPECIFIED IN TABLE 1 AND 2 UNDER ITEM 164.


IT MAY BE DEEMED NECESSARY TO INCORPORATE TOPSOIL AND SOIL AMENDMENTS (I.E. COMPOST/ FERTILIZER) INTO EXISTING SOIL IN ORDER TO FACILITATE VEGETATION GROWTH. TOPSOIL, COMPOST AND FERTILIZER ADDITIONS SHALL BE CONDUCTED ACCORDING TO ITEMS 160, 161 AND 166 OF TXDOT'S STANDARD SPECIFICATIONS MANUAL, RESPECTIVELY.

WATERING MAY ALSO BE NECESSARY TO FACILITATE AND EXPEDITE THE SPROUTING AND GROWTH OF VEGETATION. ITEM 168 OF TXDOT'S STANDARD SPECIFICATIONS MANUAL SHALL BE ADHERED TO FOR VEGETATIVE WATERING.

IF EXTENDED DROUGHT CONDITIONS EXIST THAT HINDER OR PROHIBIT THE GROWTH AND ESTABLISHMENT OF VEGETATION, THE CONTRACT/ DEVELOPER SHALL PROVIDE A PLAN TO THE CITY OF NEW BRAUNFELS DESCRIBING THE MEASURES THAT WILL BE TAKEN TO STABILIZE EARTHEN DRAINAGE INFRASTRUCTURE UNTIL A TIME WHEN GROWING CONDITIONS BECOME MORE FAVORABLE.

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TBPE FIRM F-10961
TBPLS FIRM 1053600

**HMT**
ENGINEERING & SURVEYING


Christopher P. Van Heerde, P.E.

08/07/2020

CONSTRUCTION NOTES

(2 OF 2)

CLOUD COUNTRY
UNITS 6 & 8

NO.	REVISION DESCRIPTION	REVISION DATE

DATE: AUGUST 2020

DRAWN BY: JMM

DESIGNED BY: JMM

REVIEWED BY: CVH

HMT PROJECT NO.: 056.018

SHEET

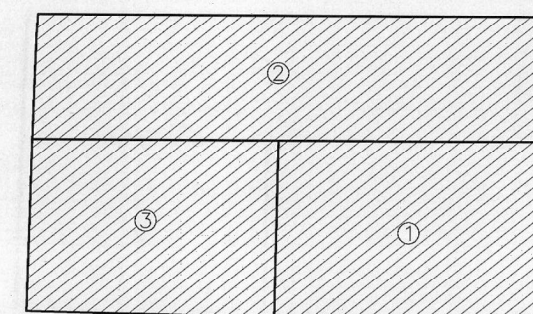
C1.02

PC Approved 5/7/13 w/walker

RECEIVED
APR 23 2013
BY: *Marzel*

SCALE: 1"=200'

 = PROPOSED R-1A6.8 = 171.67 AC



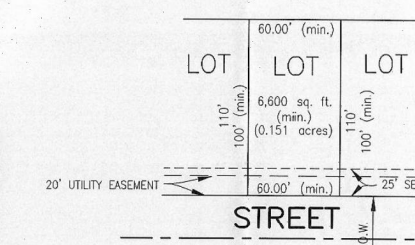
ZONING DETAIL

LEGEND

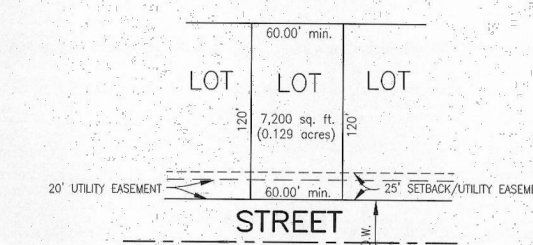
- EXISTING 2' CONTOUR
- EXISTING ZONING OF ADJACENT PROPERTIES
- 50' R.O.W. SUB-COLLECTOR SECTION
- 60' R.O.W. COLLECTOR SECTION
- AREA RESERVED FOR DETENTION

GENERAL NOTES:

1. THIS DEVELOPMENT PROJECT CONFORMS TO THE CITY OF NEW BRANFLEES COMPREHENSIVE DEVELOPMENT PLAN BASED ON THE MAPS LOCATED AT THE CITY OF NEW BRANFLEES, COAL COUNTY, TEXAS. THE CURRENT ZONING MAP SHOWS THE PROJECT AREA AS A 14-6 (R-146) RESIDENTIAL ZONE. THE PROJECT AREA IS CONSIDERED TO BE ELIGIBLE.
 2. THE CITY OF NEW BRANFLEES HAS ADEQUATE PUBLIC UTILITIES AVAILABLE TO SERVE THE PROJECT AREA. THEREFORE, THE REMAINING ACRES TO BE FLOOD DEDICATION, DRAINAGE, OPEN SPACE, AND PARK LAND, WILL BE DEDICATED ADJACENT TO ALL-STATE HIGHWAY 107-00 UNLESS NOTED OTHERWISE.
 3. A PORTION OF THE SITE IS LOCATED WITHIN THE 100-YEAR FLOOD PLAIN AREA AS DESIGNATED ON FLOOD MAP COMMUNITY PLAN 48091/022609, DATED SEPTEMBER 2, 2009.
 4. A HOMEOWNERS ASSOCIATION WILL BE ESTABLISHED FOR THIS DEVELOPMENT.
 5. DRAINAGE EASEMENTS WILL BE CREATED DURING ENGINEERING DESIGN PHASE OF PROJECT.
 6. THIS PROPERTY WILL BE SERVED BY THE FOLLOWING UTILITIES:
 - a. NEW BRANFLEES UTILITIES - SHALL PROVIDE WATER, SEWER AND ELECTRIC SERVICES.
 - b. CABLE TV - SHALL PROVIDE TELEVISION SERVICE.
 - c. TIME WARRNER CABLE TV - SHALL PROVIDE CABLE TV SERVICE.
 7. RESIDENTIAL, DEVELOPMENTAL DISTRICTS (R-146.6)
 - a. MINIMUM LOT AREA - 6,000 SF
 - b. MINIMUM LOT WIDTH AND DEPTH - 60'(WIDTH) X 100'(DEPTH) - REGULAR LOTS
 - c. MINIMUM FRONT, SIDE, AND REAR YARD SETBACKS:
 - FRONT - 25 FT, REAR - 20 FT
- FOR CORNER LOTS, THE SIDE SETBACK IS EITHER 15 FT OR 25' DEPENDING ON THE ORIENTATION OF ADJACENT LOTS.
- * IF THE REAR LOT LINE OF THE CORNER LOT SHARES A SIDE LOT LINE WITH THE ADJACENT LOT, THE SIDE SETBACK SHALL BE CONSIDERED TO BE 25'.
- * IF THE REAR LOT LINE OF THE CORNER LOT SHARES A REAR LOT LINE WITH THE ADJACENT LOT, THE SIDE SETBACK SHALL BE CONSIDERED TO BE 25'.
8. THE INDIVIDUAL HOMEOWNER/OWNER SHALL BE RESPONSIBLE FOR CONSTRUCTION OF A 4" CONCRETE SIDEWALK ALONGSIDE AND ADJACENT TO THE CURB TO BE CONSTRUCTED AT TIME OF BUILDING CONSTRUCTION.
9. THE INDIVIDUAL HOMEOWNER/OWNER SHALL BE RESPONSIBLE FOR CONSTRUCTION OF A 4" CONCRETE SIDEWALK ALONGSIDE AND ADJACENT TO THE CURB AT COMMON AREAS, DRAINAGE EASEMENTS, AND ALL OTHER AREAS WHERE THE SIDEWALK IS REQUIRED TO BE CONSTRUCTED TO THE TIME OF THE STREET CONSTRUCTION.
10. ITEMS WHICH MAY REQUIRE A REDUCTION OF THE TIME OF STREET CONSTRUCTION:
 - a. FINAL SIZING OF DRAINAGE AND UTILITY EASEMENTS.
 - b. FINAL SIZING OF DRAINAGE FINAL DEFENTION POOL SIZING.
 - c. FINAL GRADING TOPOGRAPHY AND DRAINAGE DESIGN.
 - d. ADDITIONAL UTILITY EASEMENTS OR MODIFICATION OF DRAINAGE/UTILITY EASEMENTS.
 11. DRAINAGE EASEMENTS SHALL BE FREE FROM ALL OBSTRUCTIONS AND SHALL BE MAINTAINED BY THE HOME OWNERS ASSOCIATION.
 12. LOTS 100, 101, 103, 104, 110 BLOCK 1, LOTS 102, 106, BLOCK 17, LOT 105, BLOCK 16, LOT 107, BLOCK 11, LOT 108, BLOCK 8, LOT 109, BLOCK 13 SHALL BE MAINTAINED BY THE CLIOUD COUNTY SUBDIVISION HOMEOWNERS ASSOCIATION PLANNED TO BE FORMED.



MINIMUM INTERIOR LOT SIZE



TYPICAL INTERIOR
60'x120' LOT SIZE

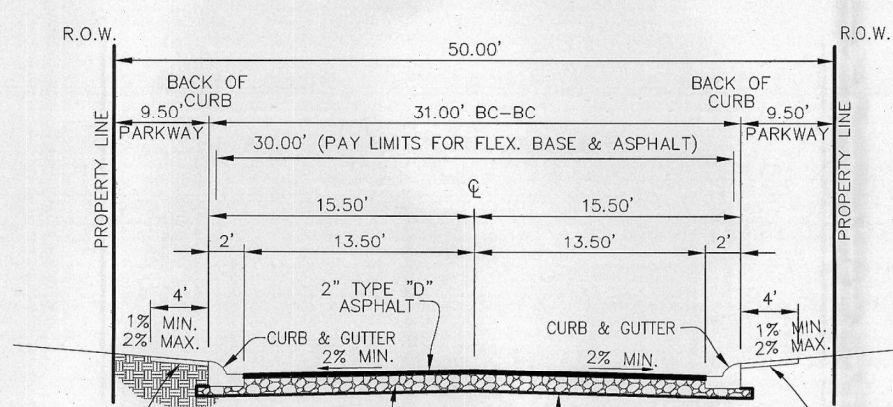
OPEN SPACE AND
FARM LIFESTYLE

PARK ACREAGE	
LOT 100	0.10 AC.
LOT 101	1.71 AC.
LOT 102	0.40 AC.
LOT 103	3.93 AC.
LOT 104	0.07 AC.
LOT 105	0.09 AC.
LOT 106	4.16 AC.
LOT 107	2.37 AC.
LOT 108	4.90 AC.
LOT 109	16.29 AC.
LOT 110	0.10 AC.
TOTAL	34.12 AC.

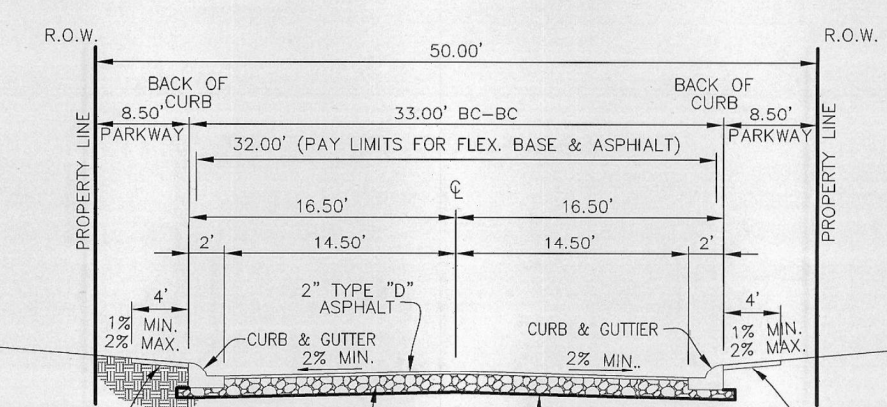
LOT SUMMARY

TOTAL SITE ACREAGE	D7670 AC.
DRILLING/PRODUCTION	216 AC.
DRAINAGE/OPEN SPACE	216 AC.
HORN PARK - LOT 108	416 AC.
RESIDENTIAL/RECREATION**	90 AC.
	8 OF 101 AC.
UNIT 1 (124.43 AC.)	11
60-0115-1 LOTS 0	
60-0116-1 LOTS 0	80
UNIT 2 (210.0 AC.)	
60-0115-1 LOTS 0	
60-0116-1 LOTS 0	8
UNIT 3 (90.16 AC.)	
60-0115-1 LOTS 0	
60-0120-1 LOTS 0	64
UNIT 4 (297.7 AC.)	
60-0115-1 LOTS 0	
60-0120-1 LOTS 0	108
UNIT 5 (48.6 AC.)	
60-0115-1 LOTS 0	3
60-0120-1 LOTS 0	75
UNIT 6 (46.4 AC.)	
60-0115-1 LOTS 0	3
60-0120-1 LOTS 0	53
UNIT 7 (112.0 AC.)	
60-0115-1 LOTS 0	
60-0120-1 LOTS 0	50
UNIT 8 (136.6 AC.)	
60-0115-1 LOTS 0	
60-0120-1 LOTS 0	59
TOTAL LOTS	546.
TOTAL ACRES	529

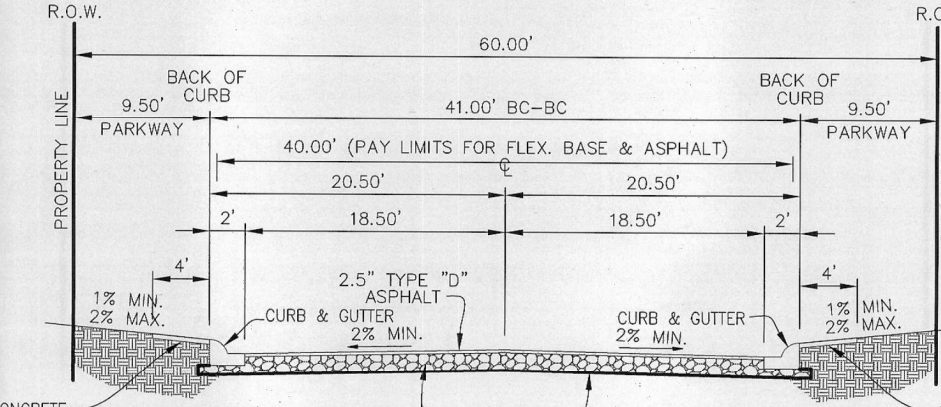
** INCLUDES ACREAGE FROM LOTS AND ROW



TYPICAL STREET SECTION - 50' R.O.W.
SCALE: = N.T.S.



SUB COLLECTOR SECTION - 50' R.O.W.



TYPICAL STREET SECTION - 60' R.O.W.
SCALE: =N.T.S.



410 N. SEGUIN AVE
NEW BRAUNFELS,
TEXAS, 78130
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PH: (830)625-8555

FOR REFERENCE ONLY

PLAT NOTES:

- ALL LOTS WITHIN THE SUBDIVISION WILL BE PROVIDED WATER, SEWER AND ELECTRIC SERVICE BY NEW BRAUNFELS UTILITIES, TELEPHONE AND CABLE SERVICES FOR THE SUBDIVISION WILL BE PROVIDED BY AT&T COMMUNICATIONS AND/OR SPECTRUM.
- ALL BEARINGS AND COORDINATES SHOWN HEREON ARE BASED UPON THE TEXAS COORDINATE SYSTEM, SOUTH CENTRAL ZONE (4204), NORTH AMERICAN DATUM 1983. GRID DISTANCES SHOWN HEREON ARE BASED UPON SURFACE MEASUREMENTS. TO CONVERT SURFACE DISTANCES TO GRID, APPLY A COMBINED SCALE FACTOR OF 1.00015.
- MONUMENTS WERE FOUND OR SET AT EACH CORNER OF THE SURVEY BOUNDARY OF THE SUBDIVISION. MONUMENTS AND LOT MARKERS WILL BE SET WITH 1/2" IRON PINS WITH PLASTIC CAP STAMPED "HMT" IMMEDIATELY AFTER COMPLETION OF UTILITY INSTALLATION AND STREET CONSTRUCTION UNLESS NOTED OTHERWISE.
- THIS SUBDIVISION IS NOT WITHIN THE EDWARDS AQUIFER RECHARGE ZONE.
- THIS SUBDIVISION IS WITHIN THE CITY LIMITS OF NEW BRAUNFELS, TEXAS.
- THIS SUBDIVISION IS WITHIN THE COMAL INDEPENDENT SCHOOL DISTRICT.
- NO PORTION OF THE SUBDIVISION IS LOCATED WITHIN ANY SPECIAL FLOOD HAZARD AREA (100 YR. FLOOD), AS DEFINED BY THE COMAL COUNTY, TEXAS, FLOOD INSURANCE RATE MAP NUMBER 480910209P, EFFECTIVE DATE SEPTEMBER 2, 2009 AS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
- NO STRUCTURES, WALLS OR OTHER OBSTRUCTIONS OF ANY KIND SHALL BE PLACED WITHIN THE LIMITS OF THE DRAINAGE EASEMENTS SHOWN ON THIS PLAT. NO LANDSCAPING, FENCES, OR OTHER TYPE OF MODIFICATIONS WHICH ALTER THE CROSS SECTIONS OF THE DRAINAGE EASEMENTS OR DECREASE THE HYDRAULIC CAPACITY OF THE EASEMENT, AS APPROVED, SHALL BE ALLOWED WITHOUT THE APPROVAL OF THE CITY ENGINEER. THE CITY OF NEW BRAUNFELS SHALL HAVE THE RIGHT OF INGRESS AND EGRESS OVER GRANITOR'S ADJACENT PROPERTY TO REMOVE ANY OBSTRUCTIONS PLACED WITHIN THE LIMITS OF SAID DRAINAGE EASEMENTS AND TO MAKE ANY MODIFICATIONS OR IMPROVEMENTS WITHIN SAID DRAINAGE EASEMENTS.
- FUTURE DEVELOPMENT IS SUBJECT TO CHAPTER 114 (STREETS, SIDEWALKS AND OTHER PUBLIC SPACES) OF THE NEW BRAUNFELS CODE OF ORDINANCES.
- FOUR (4) FOOT WIDE SIDEWALKS WILL BE CONSTRUCTED PER CITY STANDARDS BY THE DEVELOPER AT THE TIME OF STREET CONSTRUCTION ALONG:
A. CLOUDY SKY RD - LOT 111, BLOCK 15.
B. STARBRIGHT DR - LOT 110, BLOCK 15 AND LOT 111, BLOCK 15.
C. WINDUS PATH - BOTH SIDES.
- FOUR (4) FOOT WIDE SIDEWALKS WILL BE CONSTRUCTED PER CITY STANDARDS BY THE HOME BUILDER AT THE TIME OF BUILDING CONSTRUCTION ALONG:
A. CLOUDY SKY RD, STARBRIGHT DR, RAIN CLOUD DR, ALTO STRATUS, THUNDER DR, GRAY CLOUD DR, TORNADO RIDGE AND TWIN DISH WAY.
- SIX (6) FOOT WIDE SIDEWALKS WILL BE CONSTRUCTED PER CITY STANDARDS BY THE DEVELOPER AT LEAST FOUR (4) FEET OFF THE PROPERTY LINE ALONG CONRADS LN.
- THE ELEVATION OF THE LOWEST FLOOR OF A STRUCTURE SHALL BE AT LEAST 10 INCHES ABOVE THE FINISHED GRADE OF THE SURROUNDING GROUND, WHICH SHALL BE SLOPED IN A FASHION SO AS TO DIRECT STORMWATER AWAY FROM THE STRUCTURE. PROPERTIES ADJACENT TO STORMWATER CONVEYANCE STRUCTURES MUST HAVE A FLOOR SLAB ELEVATION OR BOTTOM OF FLOOR JOISTS A MINIMUM OF ONE FOOT ABOVE THE 100-YEAR WATER FLOW ELEVATION IN THE STRUCTURE. DRIVEWAYS SERVING HOUSES ON THE DOWNHILL SIDE OF THE STREET SHALL HAVE A PROPERLY SIZED CROSS SHALE PREVENTING RUNOFF FROM ENTERING THE GARAGE AND SHALL PREVENT WATER FROM LEAVING THE STREET.
- THIS SUBDIVISION IS SUBJECT TO THE 2006 CITY OF NEW BRAUNFELS PARK LAND DEDICATION AND DEVELOPMENT ORDINANCE. THIS PLAT IS APPROVED FOR ONE DWELLING UNIT(S) PER BUILDABLE LOT WITH A MAXIMUM OF 78 BUILDABLE LOTS. AT SUCH TIME THAT ADDITIONAL DWELLING UNITS ARE CONSTRUCTED, THE OWNER OF THE LOT(S) SHALL NOTIFY THE CITY AND COMPLY WITH THE ORDINANCE FOR EACH DWELLING UNIT.
- THIS UNIT CONTAINS 78 BUILDABLE RESIDENTIAL LOTS. ALL LOTS MEET THE MINIMUM SQUARE FOOTAGE REQUIREMENT ACCORDING TO THE ZONING ORDINANCE.
- ALL DRAINAGE EASEMENTS WITHIN THE LOTS WILL BE OWNED AND MAINTAINED BY PROPERTY OWNER.
- PERMANENT WATER QUALITY CONTROLS ARE REQUIRED FOR THIS SUBDIVISION PLAT IN ACCORDANCE WITH THE CITY OF NEW BRAUNFELS DRAINAGE AND EROSION CONTROL DESIGN MANUAL.
- LOTS 109, 110 AND 111, BLOCK 15 (DRAINAGE) WILL BE OWNED AND MAINTAINED BY THE CLOUD COUNTRY HOME OWNER'S ASSOCIATION, THEIR SUCCESSORS AND/OR ASSIGNS.

NEW BRAUNFELS UTILITIES NOTES:

- MAINTENANCE OF DEDICATED UTILITY EASEMENTS IS THE RESPONSIBILITY OF THE PROPERTY OWNER. ANY USE OF AN EASEMENT OR ANY PORTION OF IT, INCLUDING LANDSCAPING OR DRAINAGE FEATURES, IS SUBJECT TO AND SHALL NOT CONFLICT WITH THE TERMS AND CONDITIONS IN THE EASEMENT. MUST NOT ENDANGER OR INTERFERE WITH THE RIGHTS GRANTED BY THE EASEMENT TO NEW BRAUNFELS UTILITIES, ITS SUCCESSORS AND ASSIGNS, AND SHALL BE SUBJECT TO APPLICABLE PERMIT REQUIREMENTS OF THE CITY OF NEW BRAUNFELS OR ANY OTHER GOVERNING BODY. THE PROPERTY OWNER MUST OBTAIN, IN ADVANCE, WRITTEN AGREEMENT WITH THE UTILITIES TO UTILIZE THE EASEMENT, OR ANY PART OF IT.
- UTILITIES WILL POSSESS A 5' WIDE SERVICE EASEMENT TO THE DWELLING ALONG THE SERVICE LINE TO THE SERVICE ENTRANCE. THIS EASEMENT WILL VARY DEPENDING UPON LOCATION OF DWELLING AND SERVICE.
- UTILITIES SHALL HAVE ACCESS TO THE METER LOCATIONS FROM THE FRONT YARD AND METER LOCATIONS SHALL NOT BE LOCATED WITHIN A FENCED AREA.
- EACH LOT MUST HAVE ITS OWN WATER AND SEWER SERVICE AT THE OWNER'S/DEVELOPER'S EXPENSE.
- DO NOT COMBINE ANY NEW UTILITY EASEMENTS (U.E.) WITH DRAINAGE EASEMENTS (D.E.) OR MAKE CHANGES IN GRADE WITHIN THE UTILITY EASEMENTS (U.E.) WITHOUT WRITTEN APPROVAL FROM NEW BRAUNFELS UTILITIES.

KNOW ALL MEN BY THESE PRESENTS:

I, THE UNDERSIGNED DOROTHY J. TAYLOR, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE UNDER MY SUPERVISION AND IN COMPLIANCE WITH CITY AND STATE SURVEY REGULATIONS AND LAWS AND MADE ON THE GROUND AND THAT THE CORNER MONUMENTS WERE PROPERLY PLACED UNDER MY SUPERVISION.

PRELIMINARY. THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE.

DOROTHY J. TAYLOR
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 6295
290 S. CASTELL AVE., SUITE 100, NEW BRAUNFELS, TEXAS 78130

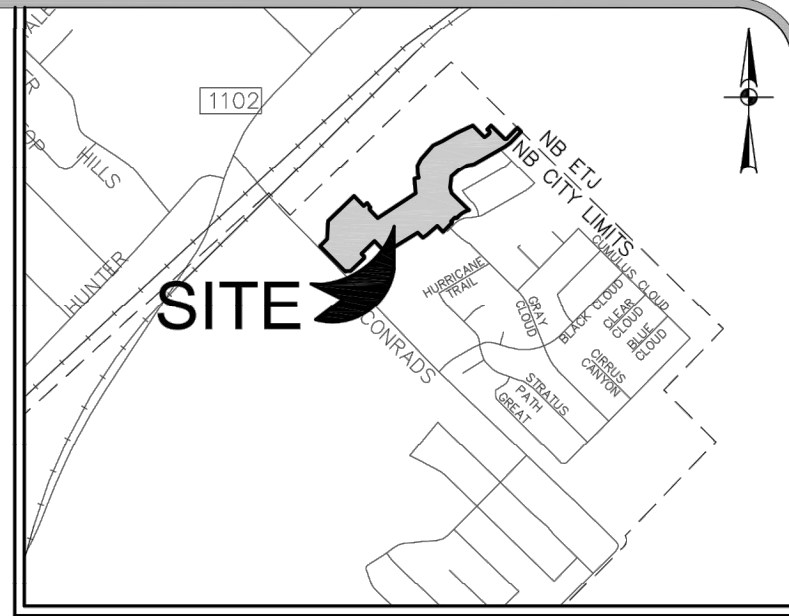
PLAT REVISED SEPTEMBER 17, 2019
PLAT PREPARED AUGUST 19, 2019



290 S. CASTELL AVE., STE. 100
NEW BRAUNFELS, TX 78130
TBPE FIRM F-10961
TBPLS FIRM 10153600

FINAL PLAT ESTABLISHING
CLOUD COUNTRY SUBDIVISION,
UNIT SIX

BEING A 17.81 ACRE TRACT OF LAND OUT OF THE NANCY KENNER LEAGUE SURVEY NO. 3, ABSTRACT NO. 306, AND OUT OF THE ORILLA RUSSELL SURVEY NO. 2, ABSTRACT NO. 485, COMAL COUNTY, TEXAS, BEING A PORTION OF THE A CALLED 31.11 ACRE TRACT RECORDED IN DOCUMENT NO. 201906041434, OFFICIAL PUBLIC RECORDS, COMAL COUNTY, TEXAS.



LOCATION MAP
NOT TO SCALE

LINE TABLE		
LINE #	LENGTH	DIRECTION
L1	13.08'	N44°21'10"W
L2	42.21'	S89°20'51"E
L3	10.00'	S45°43'53"W
L4	9.82'	S45°39'31"W
L5	3.39'	S56°46'10"W
L6	50.00'	N33°13'50"W
L7	15.26'	N13°58'37"W
L8	50.00'	N23°30'11"W
L9	64.26'	S02°17'24"E
L10	72.56'	S28°17'20"W
L11	99.72'	S64°20'09"W
L12	3.75'	S60°10'50"W
L13	4.40'	N44°36'21"E
L14	23.94'	S45°23'39"E
L15	50.00'	S44°36'21"W
L16	50.00'	S45°23'36"E
L17	66.19'	N55°29'22"E
L18	63.41'	N79°02'38"E
L19	92.66'	N60°10'50"E
L20	87.69'	S48°06'40"W

LINE TABLE		
LINE #	LENGTH	DIRECTION
L21	106.64'	N05°41'11"E
L22	52.58'	N16°02'22"W
L23	13.08'	N44°36'13"E
L24	50.00'	N44°36'13"E
L25	61.94'	S45°23'47"E
L27	68.20'	N45°13'27"W
L28	23.57'	N33°13'50"W
L30	5.65'	N76°20'49"W
L31	5.65'	N76°20'49"W
L32	58.82'	S79°02'38"W
L33	95.00'	S60°10'50"W
L34	4.40'	N44°36'21"E
L35	95.00'	S60°10'50"W
L36	58.82'	S79°02'38"W
L37	34.94'	N33°13'50"W

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD LENGTH	CHORD BEARING
C1	23.57'	14.99'	090°04'57"	15.01'	21.22'	N00°39'10"E
C2	29.09'	150.00'	011°06'43"	14.59'	29.04'	S51°12'51"W
C3	26.47'	15.00'	101°07'21"	18.24'	23.17'	S06°12'30"W
C4	51.10'	225.00'	013°00'43"	25.66'	50.99'	S73°00'11"W
C5	47.57'	175.00'	015°34'29"	23.93'	47.42'	N52°23'36"E
C6	23.56'	15.00'	090°00'00"	15.00'	21.21'	N00°23'39"W
C7	23.56'	15.00'	090°00'00"	15.00'	21.21'	N89°36'21"E
C8	117.14'	225.00'	029°49'44"	59.93'	115.82'	S59°31°05"W
C9	23.56'	15.00'	090°00'00"	15.00'	21.21'	N89°36'13"E
C10	23.56'	15.00'	090°00'00"	15.00'	21.21'	N00°23'47"W
C11	12.24'	100.00'	007°00'37"	6.13'	12.23'	N41°43'09"W
C12	10.18'	15.00'	038°52'20"	5.29'	9.98'	N63°47'20"W
C13	146.39'	50.00'	167°45'21"	466.17'	99.43'	S00°39'10"W
C14	10.18'	15.00'	038°52'20"	5.29'	9.98'	N65°05'41"E
C15	20.65'	15.00'	078°52'39"	12.34'	19.06'	S83°47'30"E
C16	10.19'	15.00'	038°55'04"	5.30'	9.99'	N37°18'39"E
C17	146.43'	50.00'	167°47'39"	467.63'	99.43'	N78°15'04"W
C18	10.18'	15.00'	038°52'35"	5.29'	9.98'	S13°47'32"E
C19	20.93'	100.00'	011°59'37"	10.50'	20.89'	S39°13'38"E
C20	18.35'	150.00'	007°00'37"	9.19'	18.34'	N41°43'09"W
C21	296.62'	325.00'	052°17'35"	159.54'	286.43'	S19°14'59"E

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD LENGTH	CHORD BEARING
C22	21.79'	15.00'	083°14'37"	13.33'	19.93'	N34°43'30"W
C23	113.49'	175.00'	037°09'22"	58.82'	111.51'	S85°04'30"W
C24	94.81'	225.00'	024°08'39"	48.12'	94.11'	N88°25'08"W
C25	21.79'	15.00'	083°14'37"	13.33'	19.93'	N62°01'52"E
C26	225.60'	325.00'	039°46'16"	117.56'	221.09'	S40°17'42"W
C27	74.08'	225.00'	018°51'48"	37.38'	73.74'	S69°36'44"W
C28	57.61'	175.00'	018°51'48"	29.07'	57.35'	N69°36'44"E
C29	23.56'	15.00'	090°00'00"	15.00'	21.21'	S89°36'21"W
C30	61.16'	225.00'	015°34'29"	30.77'	60.97'	N52°23'36"E
C31	74.08'	225.00'	018°51'48"	37.38'	73.74'	N69°36'44"E
C32	57.61'	175.00'	018°51'48"	29.07'	57.35'	S69°36'44"W
C33	506.73'	275.00'	105°34'37"	362.15'	438.02'	S07°23'32"W
C34	31.40'	150.00'	011°59'37"	15.76'	31.34'	S39°13'38"E
C35	23.56'	15.00'	090°00'00"	15.00'	21.21'	N78°13'50"W
C36	12.00'	15.00'	045°50'14"	6.34'	11.68'	S33°51'03"W
C37	142.76'	50.00'	163°35'09"	346.67'	98.98'	S87°16'30"E
C38	10.18'	15.00'	038°52'15"	5.29'	9.98'	N24°55'03"W
C39	23.56'	15.00'	089°59'19"	15.00'	21.21'	N89°20'50"W
C40	23.56'	15.00'	090°00'41"	15.00'	21.22'	S00°39'10"W

APPROVED THIS THE _____ DAY OF _____, 20____,
BY THE PLANNING COMMISSION OF THE CITY OF NEW
BRAUNFELS, TEXAS.

CHAIRMAN _____

APPROVED FOR ACCEPTANCE

DATE _____ PLANNING DIRECTOR _____

DATE _____ CITY ENGINEER _____

DATE _____ NEW BRAUNFELS UTILITIES _____

STATE OF TEXAS
COUNTY OF COMAL

I, _____ DO HEREBY CERTIFY THAT THE FOREGOING
INSTRUMENT WAS FILED FOR RECORD IN THE MAP AND PLAT RECORDS,
DOC# _____ OF COMAL COUNTY ON THE _____ DAY
OF _____, 20____, AT
_____ M.

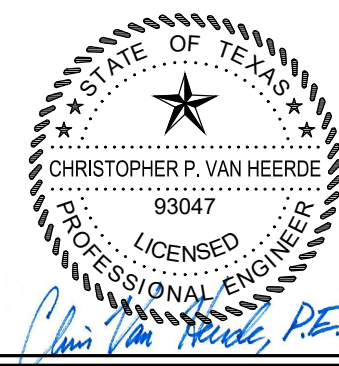
WITNESS MY HAND AND OFFICIAL SEAL, THIS THE _____ DAY OF
_____, 20____.

COUNTY CLERK, COMAL COUNTY, TEXAS

DEPUTY

SHEET 1 OF 2

290 S. CASTELL AVE., STE. 100
NEW BRAUNFELS, TX 78130
TBPE FIRM F-10961
TBPLS FIRM 1053600



08/07/2020

UNIT 6 PLAT (1 OF 2)

CLOUD COUNTRY
UNITS 6 & 8

REVISION	DESCRIPTION	REVISION DATE
NO.		

DATE: AUGUST 2020

DRAWN BY: JMM

DESIGNED BY: JMM

REVIEWED BY: CVH

HMT PROJECT NO.:
056.018

SHEET

C2.01

FOR REFERENCE ONLY



PLAT NOTES:

- ALL LOTS WITHIN THE SUBDIVISION WILL BE PROVIDED WATER, SEWER AND ELECTRIC SERVICE BY NEW BRAUNFELS UTILITIES. TELEPHONE AND CABLE SERVICES FOR THE SUBDIVISION WILL BE PROVIDED BY AT&T COMMUNICATIONS AND/OR SPECTRUM.
- ALL BEARINGS AND COORDINATES SHOWN HEREON ARE BASED UPON THE TEXAS COORDINATE SYSTEM, SOUTH CENTRAL ZONE (4204), NORTH AMERICAN DATUM 1983. GRID DISTANCES SHOWN HEREON ARE BASED UPON SURFACE MEASUREMENTS. TO CONVERT SURFACE DISTANCES TO GRID, APPLY A COMBINED SCALE FACTOR OF 1.00015.
- MONUMENTS WERE FOUND OR SET AT EACH CORNER OF THE SURVEY BOUNDARY OF THE SUBDIVISION. MONUMENTS AND LOT MARKERS WILL BE SET WITH 1/2" IRON PINS WITH PLASTIC CAP STAMPED "HMT" IMMEDIATELY AFTER COMPLETION OF UTILITY INSTALLATION AND STREET CONSTRUCTION UNLESS NOTED OTHERWISE.
- THIS SUBDIVISION IS NOT WITHIN THE EDWARDS AQUIFER RECHARGE ZONE.
- THIS SUBDIVISION IS WITHIN THE CITY LIMITS OF NEW BRAUNFELS, TEXAS.
- THIS SUBDIVISION IS WITHIN THE COMAL INDEPENDENT SCHOOL DISTRICT.
- NO PORTION OF THE SUBDIVISION IS LOCATED WITHIN ANY SPECIAL FLOOD HAZARD AREA (100 YR FLOOD), AS DEFINED BY THE COMAL COUNTY, TEXAS, FLOOD INSURANCE RATE MAP NUMBER 48091C0290F, EFFECTIVE DATE SEPTEMBER 2, 2009 AS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
- NO STRUCTURES, WALLS OR OTHER OBSTRUCTIONS OF ANY KIND SHALL BE PLACED WITHIN THE LIMITS OF THE DRAINAGE EASEMENTS SHOWN ON THIS PLAT. NO LANDSCAPING, FENCES, OR OTHER TYPE OF MODIFICATIONS WHICH ALTER THE CROSS SECTIONS OF THE DRAINAGE EASEMENTS OR DECREASE THE HYDRAULIC CAPACITY OF THE EASEMENT, AS APPROVED, SHALL BE ALLOWED WITHOUT THE APPROVAL OF THE CITY ENGINEER. THE CITY OF NEW BRAUNFELS SHALL HAVE THE RIGHT OF INGRESS AND EGRESS OVER GRANTOR'S ADJACENT PROPERTY TO REMOVE ANY OBSTRUCTIONS PLACED WITHIN THE LIMITS OF SAID DRAINAGE EASEMENTS AND TO MAKE ANY MODIFICATIONS OR IMPROVEMENTS WITHIN SAID DRAINAGE EASEMENTS.
- FUTURE DEVELOPMENT IS SUBJECT TO CHAPTER 114 (STREETS, SIDEWALKS AND OTHER PUBLIC SPACES) OF THE NEW BRAUNFELS CODE OF ORDINANCES.
- FOUR (4) FOOT WIDE SIDEWALKS WILL BE CONSTRUCTED PER CITY STANDARDS ADJACENT TO THE CURB BY THE DEVELOPER AT THE TIME OF STREET CONSTRUCTION ALONG:
A. MOONDANCE CT, HURRICANE TRAIL, CLOUDY SKY RD, AND BILLOW COVE - LOT 106, BLOCK 17.
B. BILLOW COVE - OPPOSITE LOT 106, BLOCK 17.
C. CLOUDY SKY RD - OPPOSITE LOT 18, BLOCK 12.
D. HURRICANE TRAIL - LOT 7, BLOCK 17.
- FOUR (4) FOOT WIDE SIDEWALKS WILL BE CONSTRUCTED PER CITY STANDARDS ADJACENT TO THE CURB BY THE HOME BUILDER AT THE TIME OF BUILDING CONSTRUCTION ALONG:
A. MOONDANCE CT, HURRICANE TRAIL, CLOUDY SKY RD, BILLOW COVE, TWIN DISH WAY AND THUNDER DR.
B. HURRICANE TRAIL - OPPOSITE LOTS 2 & 3, BLOCK 16.
C. GRAY CLOUD - LOT 1, BLOCK 11.
- THE ELEVATION OF THE LOWEST FLOOR OF A STRUCTURE SHALL BE AT LEAST 10 INCHES ABOVE THE FINISHED GRADE OF THE SURROUNDING GROUND, WHICH SHALL BE SLOPED IN A FASHION SO AS TO DIRECT STORMWATER AWAY FROM THE STRUCTURE. PROPERTIES ADJACENT TO STORMWATER CONVEYANCE STRUCTURES MUST HAVE A FLOOR SLAB ELEVATION OF BOTTOM OF FLOOR JOISTS A MINIMUM OF ONE FOOT ABOVE THE 100-YEAR WATER FLOW ELEVATION IN THE STRUCTURE. DRIVEWAYS SERVING HOUSES ON THE DOWNHILL SIDE OF THE STREET SHALL HAVE A PROPERLY SIZED CROSS SHALE PREVENTING RUNOFF FROM ENTERING THE GARAGE AND SHALL PREVENT WATER FROM LEAVING THE STREET.
- THIS SUBDIVISION IS SUBJECT TO THE 2006 CITY OF NEW BRAUNFELS PARK LAND DEDICATION AND DEVELOPMENT ORDINANCE. THIS PLAT IS APPROVED FOR ONE DWELLING UNIT(S) PER BUILDABLE LOT WITH A MAXIMUM OF 43 BUILDABLE LOTS. AT SUCH TIME THAT ADDITIONAL DWELLING UNITS ARE CONSTRUCTED, THE OWNER OF THE LOT(S) SHALL NOTIFY THE CITY AND COMPLY WITH THE ORDINANCE FOR EACH DWELLING UNIT.
- THIS UNIT CONTAINS 43 BUILDABLE RESIDENTIAL LOTS. ALL LOTS MEET THE MINIMUM SQUARE FOOTAGE REQUIREMENT ACCORDING TO THE ZONING ORDINANCE.
- ALL DRAINAGE EASEMENTS WITHIN THE LOTS WILL BE OWNED AND MAINTAINED BY PROPERTY OWNER.
- PERMANENT WATER QUALITY CONTROLS ARE REQUIRED FOR THIS SUBDIVISION PLAT IN ACCORDANCE WITH THE CITY OF NEW BRAUNFELS DRAINAGE AND EROSION CONTROL DESIGN MANUAL.
- LOT 112, BLOCK 17 (HOA PARK) AND LOT 107, BLOCK 11 (DRAINAGE) WILL BE OWNED AND MAINTAINED BY THE CLOUD COUNTRY HOME OWNERS ASSOCIATION, THEIR SUCCESSORS AND/OR ASSIGNS.

NEW BRAUNFELS UTILITIES NOTES:

- MAINTENANCE OF DEDICATED UTILITY EASEMENTS IS THE RESPONSIBILITY OF THE PROPERTY OWNER. ANY USE OF AN EASEMENT, OR ANY PORTION OF IT, INCLUDING LANDSCAPING OR DRAINAGE FEATURES, IS SUBJECT TO AND SHALL NOT CONFLICT WITH THE TERMS AND CONDITIONS IN THE EASEMENT, MUST NOT ENDANGER OR INTERFERE WITH THE RIGHTS GRANTED BY THE EASEMENT TO NEW BRAUNFELS UTILITIES, ITS SUCCESSORS AND ASSIGNS, AND SHALL BE SUBJECT TO APPLICABLE PERMIT REQUIREMENTS OF THE CITY OF NEW BRAUNFELS OR ANY OTHER GOVERNING BODY. THE PROPERTY OWNER MUST OBTAIN, IN ADVANCE, WRITTEN AGREEMENT WITH THE UTILITIES TO UTILIZE THE EASEMENT, OR ANY PART OF IT.
- UTILITIES WILL POSSESS A 5' WIDE SERVICE EASEMENT TO THE DWELLING ALONG THE SERVICE LINE TO THE SERVICE ENTRANCE. THIS EASEMENT WILL VARY DEPENDING UPON LOCATION OF DWELLING AND SERVICE.
- UTILITIES SHALL HAVE ACCESS TO THE METER LOCATIONS FROM THE FRONT YARD AND METER LOCATIONS SHALL NOT BE LOCATED WITHIN A FENCED AREA.
- EACH LOT MUST HAVE ITS OWN WATER AND SEWER SERVICE AT THE OWNER'S/DEVELOPER'S EXPENSE.
- DO NOT COMBINE ANY NEW UTILITY EASEMENTS (U.E.) WITH DRAINAGE EASEMENTS (D.E.) OR MAKE CHANGES IN GRADE WITHIN THE UTILITY EASEMENTS (U.E.) WITHOUT WRITTEN APPROVAL FROM NEW BRAUNFELS UTILITIES.

KNOW ALL MEN BY THESE PRESENTS:

I, THE UNDERSIGNED DOROTHY J. TAYLOR, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE UNDER MY SUPERVISION AND IN COMPLIANCE WITH CITY AND STATE SURVEY REGULATIONS AND LAWS AND MADE ON THE GROUND AND THAT THE CORNER MONUMENTS WERE PROPERLY PLACED UNDER MY SUPERVISION.

PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE.

DOROTHY J. TAYLOR
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 6295
290 S. CASTELL AVE., SUITE 100, NEW BRAUNFELS, TEXAS 78130

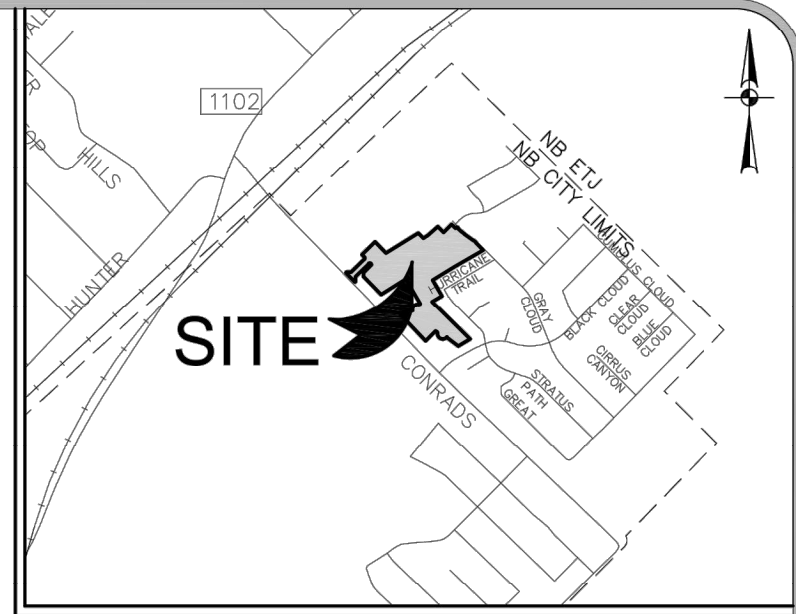
PLAT REVISED JULY 2, 2020
PLAT REVISED OCTOBER 19, 2019
PLAT REVISED SEPTEMBER 17, 2019
PLAT PREPARED AUGUST 19, 2019



290 S. CASTELL AVE., STE. 100
NEW BRAUNFELS, TX 78130
TBPE FIRM F-10961
TBPLS FIRM 10153600

FINAL PLAT ESTABLISHING
CLOUD COUNTRY SUBDIVISION,
UNIT EIGHT

BEING A 12.74 ACRE TRACT OF LAND OUT OF THE ORILLA RUSSELL SURVEY NO. 2, ABSTRACT NO. 485, COMAL COUNTY, TEXAS, BEING A PORTION OUT OF THE CALLED 31.11 ACRE TRACT RECORDED IN DOCUMENT NO. 201906041434, AND BEING A PORTION OUT OF THE REMAINDER OF A CALLED 72.421 ACRE TRACT RECORDED IN DOCUMENT NO. 200206041209, OFFICIAL PUBLIC RECORDS, COMAL COUNTY, TEXAS.



LOCATION MAP
NOT TO SCALE

LINE TABLE		
LINE #	LENGTH	DIRECTION
L1	10.00'	N45°43'53"E
L2	42.21'	S89°20'51"E
L3	13.08'	N44°21'10"W
L4	68.20'	N45°13'27"W
L5	61.94'	S45°23'47"E
L6	50.00'	S45°23'47"E
L7	47.59'	S45°23'47"E
L8	99.21'	S55°14'21"E
L9	97.60'	S45°23'47"E
L10	107.98'	N59°31'23"E
L11	127.64'	N59°31'23"E
L12	132.83'	N52°12'01"W
L13	15.24'	N45°23'47"W
L14	35.36'	S00°38'55"W
L15	105.00'	S45°38'50"W
L16	10.00'	S44°21'10"E
L17	42.39'	N00°43'08"E
L18	10.00'	S45°43'53"W
L19	119.85'	N44°16'07"W
L20	25.45'	N31°48'11"W

LINE TABLE		
LINE #	LENGTH	DIRECTION
L21	25.45'	N31°48'11"W
L22	37.70'	S58°11'49"W
L24	25.06'	S44°36'13"W
L25	13.67'	S44°36'13"W

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD LENGTH	CHORD BEARING
C1	23.57'	14.99'	090°04'57"	15.01'	21.22'	N00°39'10"E
C2	12.24'	100.00'	007°00'37"	6.13'	12.23'	N41°43'09"W
C3	23.56'	15.00'	090°00'00"	15.00'	21.21'	S89°36'13"W
C4	38.65'	225.00'	009°50'35"	19.37'	38.61'	S50°19'04"E
C5	30.06'	175.00'	009°50'35"	15.07'	30.03'	N50°19'04"W
C6	129.87'	50.00'	148°49'27"	179.23'	96.32'	S67°47'18"E
C7	13.62'	15.00'	052°01'12"	7.32'	13.16'	N19°23'10"W
C8	95.94'	50.00'	109°56'41"	71.33'	81.89'	S43°16'43"W
C9	12.38'	15.00'	047°18'02"	6.57'	12.03'	N74°36'02"E
C10	6.15'	225.00'	001°33'58"	3.07'	6.15'	S51°44'00"W
C11	23.56'	15.00'	089°58'38"	15.00'	21.21'	N89°21'10"W
C12	22.24'	15.00'	084°57'25"	13.73'	20.26'	S86°49'53"E
C13	19.65'	150.00'	007°30'24"	9.84'	19.64'	S54°26'37"W
C14	23.56'	15.00'	090°00'00"	15.00'	21.21'	N13°11'49"E
C15	11.19'	100.00'	006°24'39"	5.60'	11.18'	N35°00'31"W
C16	16.78'	150.00'	006°24'39"	8.40'	16.78'	N35°00'31"W
C17	23.56'	15.00'	090°00'00"	15.00'	21.21'	S76°48'11"E
C18	77.11'	325.00'	013°35'36"	38.73'	76.92'	N51°24'01"E
C19	88.97'	375.00'	013°35'36"	44.69'	88.76'	N51°24'01"E
C20	12.37'	15.00'	047°14'19"	6.56'	12.02'	S34°34'39"W

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD LENGTH	CHORD BEARING
C21	142.72'	50.00'	163°32'56"	345.89'	98.97'	S87°16'02"E
C22	10.17'	15.00'	038°51'36"	5.29'	9.98'	N24°55'22"W
C23	45.57'	175.00'	014°55'10"	22.91'	45.44'	S52°03'48"W
C24	23.56'	15.00'	090°00'00"	15.00'	21.21'	S00°23'47"E
C25	13.62'	15.00'	052°01'12"	7.32'	13.16'	S71°24'23"E
C26	247.87'	50.00'	284°02'25"	-39.04'	61.54'	N44°36'13"E
C27	10.18'	15.00'	038°52'15"	5.29'	9.98'	N64°49'54"W
C28	146.38'	50.00'	167°44'30"	465.62'	99.43'	S00°23'47"E
C29	10.18'	15.00'	038°52'15"	5.29'	9.98'	N64°02'21"E
C30	58.59'	225.00'	014°55'10"	29.46'	58.42'	S52°03'48"W

APPROVED THIS THE _____ DAY OF _____, 20____,
BY THE PLANNING COMMISSION OF THE CITY OF NEW
BRAUNFELS, TEXAS.

CHAIRMAN

APPROVED FOR ACCEPTANCE

DATE _____ PLANNING DIRECTOR _____

DATE _____ CITY ENGINEER _____

DATE _____ NEW BRAUNFELS UTILITIES _____

STATE OF TEXAS
COUNTY OF COMAL

I, _____ DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT WAS FILED FOR RECORD IN THE MAP AND PLAT RECORDS, DOC# _____ OF COMAL COUNTY ON THE _____ DAY OF _____, 20____, AT _____ M.

WITNESS MY HAND AND OFFICIAL SEAL, THIS THE _____ DAY OF _____, 20____,

COUNTY CLERK, COMAL COUNTY, TEXAS

DEPUTY

08/07/2020

UNIT 8 PLAT (1 OF 2)

CLOUD COUNTRY
UNITS 6 & 8

REVISION	DATE	DESCRIPTION
NO.		

DATE: AUGUST 2020

DRAWN BY: JMM

DESIGNED BY: JMM

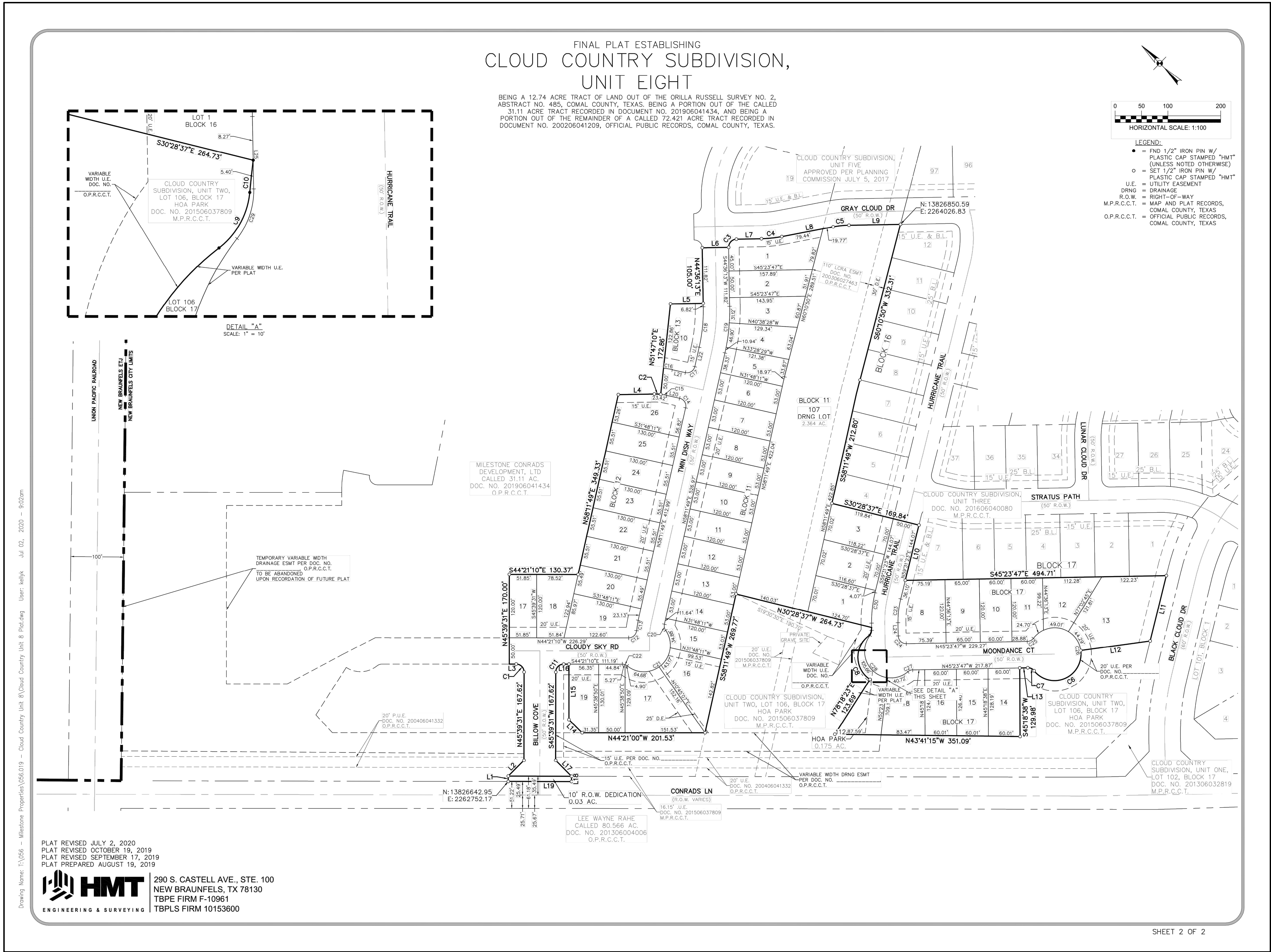
REVIEWED BY: CVH

HMT PROJECT NO.:
056.018

SHEET
C2.03

FOR REFERENCE ONLY

Drawing Name: N:_Projects\056 - Milestone Properties\056.018 - Cloud Country Unit 8 Cloud Country Unit 8 Plat.dwg User: jphm Aug 07, 2020 - 11:59am



FOR REFERENCE ONLY

290 S. CASTELL AVE., STE. 100
NEW BRAUNFELS, TX 78130
TBPE FIRM F-10961
TBPLS FIRM 10153600



08/07/2020

UNIT 8 PLAT (2 OF 2)
CLOUD COUNTRY
UNITS 6 & 8

NO.	REVISION	DESCRIPTION	REVISION DATE

DATE: AUGUST 2020

DRAWN BY: JMM

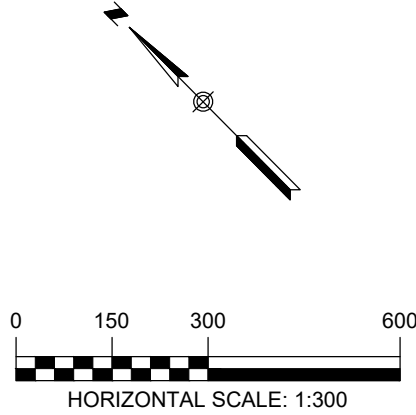
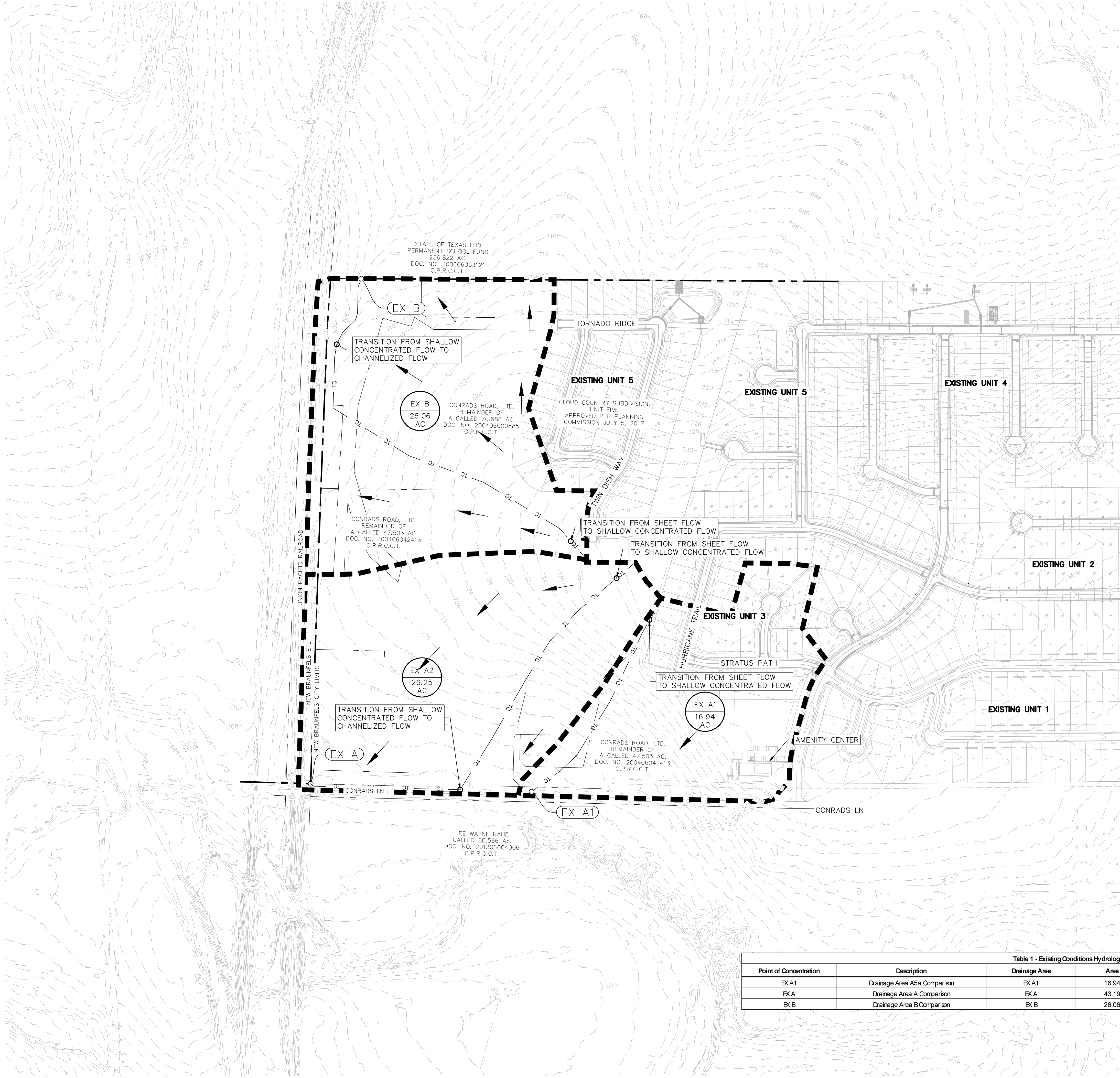
DESIGNED BY: JMM

REVIEWED BY: CVH

HMT PROJECT NO.:
056.018

SHEET
C2.04

Drawing Name: N:_Projects\056 - Cloud Country Unit 6\056.018 - Cloud Country Unit 6\056.018_DWG.dwg User: jhmm Aug 07, 2020 - 12:05pm



- LEGEND**
- 700 — EXISTING CONTOURS
 - 700 — PROPOSED CONTOURS
 - B.L. — BUILDING SETBACK LINE
 - U.E. — UTILITY EASEMENT
 - D.E. — DRAINAGE EASEMENT
 - — DRAINAGE AREA
 - TC — TC — TIME OF CONCENTRATION
 - A-1 — POINT OF CONCENTRATION
 - ← — DRAINAGE FLOW DIRECTION
 - DA ACRES — DRAINAGE AREA LABEL

Table 1 - Existing Conditions Hydrology Calculations - City of New Braunfels									
Point of Concentration	Description	Drainage Area	Area	T _c	CN	Q ₂ (cfs)	Q ₁₀ (cfs)	Q ₂₅ (cfs)	Q ₁₀₀ (cfs)
EX A1	Drainage Area A5a Comparison	EX A1	16.94	43.99	85.15	23.30	52.97	70.29	91.96
EX A	Drainage Area A Comparison	EX A	43.19	55.56	84.00	49.31	114.97	153.67	202.17
EX B	Drainage Area B Comparison	EX B	26.06	63.05	84.00	27.54	64.27	85.95	113.13

290 S. CASTELL AVE., STE. 100
NEW BRAUNFELS, TX 78130
TBPE FIRM F-10961
TBPLS FIRM 1053600

HMT
ENGINEERING & SURVEYING

CHRISTOPHER P. VAN HEERDE
93047
LICENSED PROFESSIONAL ENGINEER
Chris Van Heerde, P.E.

08/07/2020

**EXISTING DRAINAGE AREA
MAP**
CLOUD COUNTRY
UNITS 6 & 8

NO.	REVISION	DESCRIPTION	REVISION DATE

DATE: JULY 2020

DRAWN BY: JMM

DESIGNED BY: JMM

REVIEWED BY: CVH

HMT PROJECT NO.: 056.018

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C3.00

Drawing Name: N:_Projects\056 - Cloud Country Unit 6\056.018.DWG User: jghm Aug 07, 2020 - 12:05pm

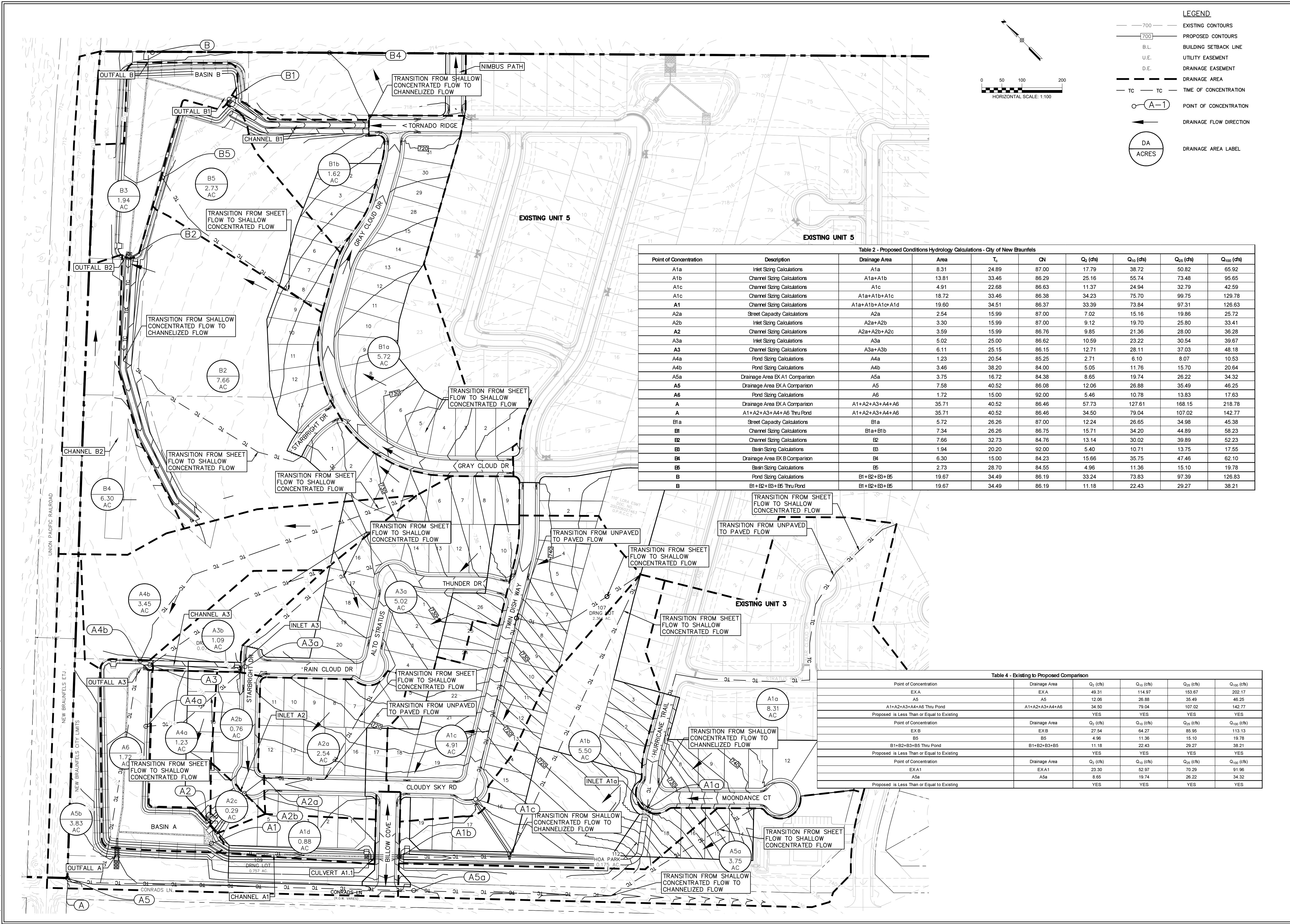


Table 2 - Proposed Conditions Hydrology Calculations - City of New Braunfels									
Point of Concentration	Description	Drainage Area	Area	T _c	Q _N	Q ₂ (cfs)	Q ₁₀ (cfs)	Q ₂₅ (cfs)	Q ₁₀₀ (cfs)
A1a	Inlet Sizing Calculations	A1a	8.31	24.89	87.00	17.79	38.72	50.82	65.92
A1b	Channel Sizing Calculations	A1a+A1b	13.81	33.46	86.29	25.16	55.74	73.48	95.65
A1c	Channel Sizing Calculations	A1c	4.91	22.68	86.63	11.37	24.94	32.79	42.59
A1c	Channel Sizing Calculations	A1a+A1b+A1c	18.72	33.46	86.38	34.23	75.70	99.75	129.78
A1	Channel Sizing Calculations	A1a+A1b+A1c+A1d	19.60	34.51	86.37	33.39	73.84	97.31	126.63
A2a	Street Capacity Calculations	A2a	2.54	15.99	87.00	7.02	15.16	19.86	25.72
A2b	Inlet Sizing Calculations	A2a+A2b	3.30	15.99	87.00	9.12	19.70	25.80	33.41
A2	Channel Sizing Calculations	A2a+A2b+A2c	3.59	15.99	86.76	9.85	21.36	28.00	36.28
A3a	Inlet Sizing Calculations	A3a	5.02	25.00	86.62	10.59	23.22	30.54	39.67
A3	Channel Sizing Calculations	A3a+A3b	6.11	25.15	86.15	12.71	28.11	37.03	48.18
A4a	Pond Sizing Calculations	A4a	1.23	20.54	85.25	2.71	6.10	8.07	10.53
A4b	Pond Sizing Calculations	A4b	3.46	38.20	84.00	5.05	11.76	15.70	20.64
A5a	Drainage Area EX A1 Comparison	A5a	3.75	16.72	84.38	8.65	19.74	26.22	34.32
A5	Drainage Area EX A Comparison	A5	7.58	40.52	86.08	12.06	26.88	35.49	46.25
A6	Pond Sizing Calculations	A6	1.72	15.00	92.00	5.46	10.78	13.83	17.63
A	Drainage Area EX A Comparison	A1+A2+A3+A4+A6	35.71	40.52	86.46	57.73	127.61	168.15	218.78
A	Drainage Area EX A Comparison	A1+A2+A3+A4+A6 Thru Pond	35.71	40.52	86.46	34.50	79.04	107.02	142.77
B1a	Street Capacity Calculations	B1a	5.72	26.26	87.00	12.24	26.65	34.98	45.38
B1	Channel Sizing Calculations	B1a+B1b	7.34	26.26	86.75	15.71	34.20	44.89	58.23
B2	Channel Sizing Calculations	B2	7.66	32.73	84.76	13.14	30.02	39.89	52.23
B3	Basin Sizing Calculations	B3	1.94	20.20	92.00	5.40	10.71	13.75	17.55
B4	Drainage Area EX B Comparison	B4	6.30	15.00	84.23	15.66	35.75	47.46	62.10
B5	Basin Sizing Calculations	B5	2.73	28.70	84.55	4.96	11.36	15.10	19.78
B	Pond Sizing Calculations	B1+B2+B3+B5	19.67	34.49	86.19	33.24	73.83	97.39	126.83
B	Pond Sizing Calculations	B1+B2+B3+B5 Thru Pond	19.67	34.49	86.19	11.18	22.43	29.27	38.21

Table 4 - Existing to Proposed Comparison					
Point of Concentration	Drainage Area	Q ₂ (cfs)	Q ₁₀ (cfs)	Q ₂₅ (cfs)	Q ₁₀₀ (cfs)
EX A	EX A	49.31	114.97	153.67	202.17
A5	A5	12.06	26.88	35.49	46.25
A1+A2+A3+A4+A6 Thru Pond	A1+A2+A3+A4+A6	34.50	79.04	107.02	142.77
Proposed is Less Than or Equal to Existing		YES	YES	YES	YES
Point of Concentration	Drainage Area	Q ₂ (cfs)	Q ₁₀ (cfs)	Q ₂₅ (cfs)	Q ₁₀₀ (cfs)
EX B	EX B	27.54	64.27	85.95	113.13
B5	B5	4.96	11.36	15.10	19.78
B1+B2+B3+B5 Thru Pond	B1+B2+B3+B5	11.18	22.43	29.27	38.21
Proposed is Less Than or Equal to Existing		YES	YES	YES	YES
Point of Concentration	Drainage Area	Q ₂ (cfs)	Q ₁₀ (cfs)	Q ₂₅ (cfs)	Q ₁₀₀ (cfs)
EX A1	EX A1	23.30	52.97	70.29	91.96
A5a	A5a	8.65	19.74	26.22	34.32
Proposed is Less Than or Equal to Existing		YES	YES	YES	YES

290 S. CASTELL AVE., STE. 100
NEW BRAUNFELS, TX 78130
TBPB FIRM F-10361
TBPB FIRM 1053600

HMT
ENGINEERING & SURVEYING

CHRISTOPHER P. VAN HEERDE
93047
PROFESSIONAL ENGINEER
Civil/Structural/PE

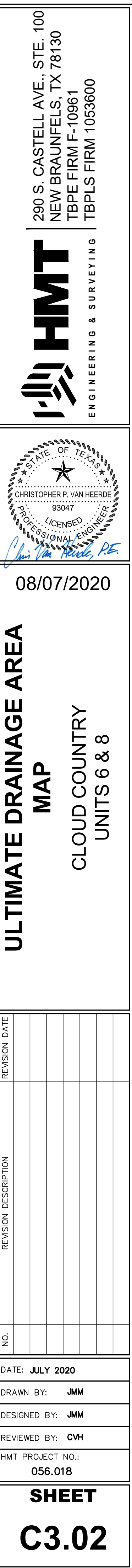
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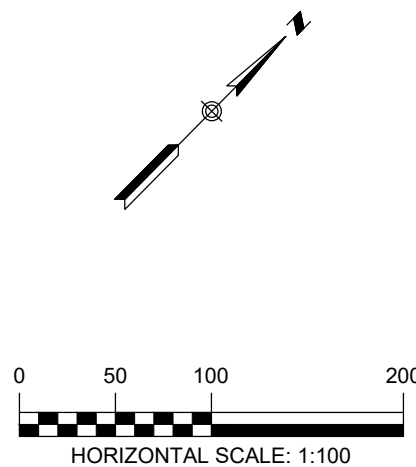
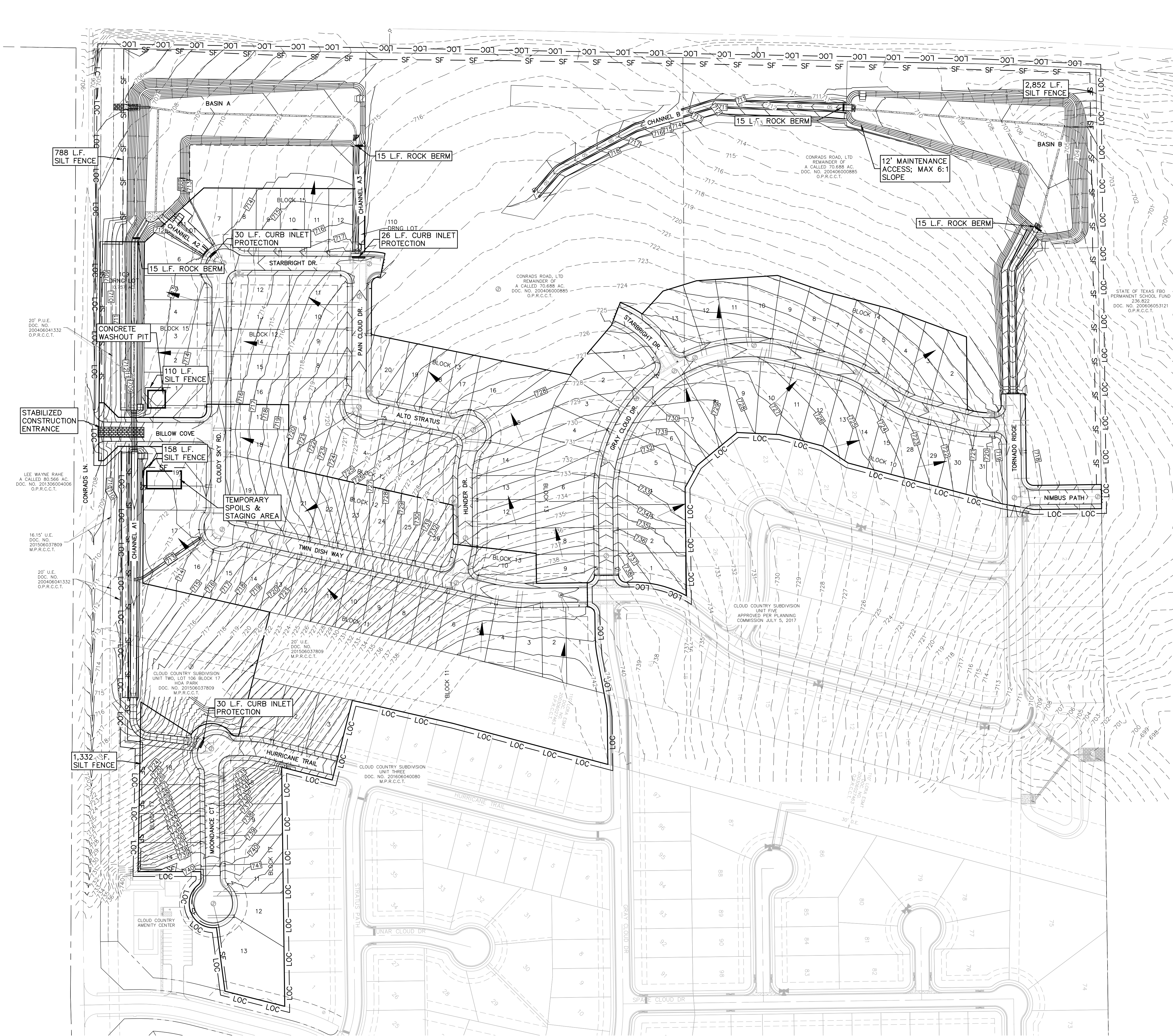
PROPOSED DRAINAGE AREA
MAP
CLOUD COUNTRY
UNITS 6 & 8

NO.	REVISION	DESCRIPTION	DATE

DATE: JULY 2020
DRAWN BY: JMM
DESIGNED BY: JMM
REVIEWED BY: CVH
HMT PROJECT NO.: 056.018

SHEET
C3.01





- LEGEND**
- 700 — EXISTING CONTOURS
 - 700 — PROPOSED CONTOURS
 - B.L. — BUILDING SETBACK LINE
 - U.E. — UTILITY EASEMENT
 - D.E. — DRAINAGE EASEMENT
 - > — DRAINAGE FLOW DIRECTION
 - SF — SF — SILT FENCE
 - LOC — LOC — LIMIT OF CONSTRUCTION
 - [Pattern] — STABILIZED CONSTRUCTION ENTRANCE
 - [Pattern] — FILTER DIKE CURB INLET PROTECTION
 - — ROCK BERM

SEQUENCE OF CONSTRUCTION

1. INSTALL EROSION CONTROLS PER APPROVED PLAN.
2. TEMPORARY CONTROLS TO BE INSPECTED AND MAINTAINED WEEKLY AND PRIOR TO ANTICIPATED RAINFALL EVENTS, AND AFTER RAINFALL EVENTS, AS NEEDED. CONTRACTOR/OWNER SHALL PROVIDE A CONTACT NAME AND NUMBER FOR EROSION CONTROL ISSUES.
3. CONDUCT DEMOLITION ACTIVITIES, IF APPLICABLE.
4. CONSTRUCT DRAINAGE IMPROVEMENTS, IF APPLICABLE.
5. CONSTRUCT CURB INLET PROTECTION AT THE TIME OF CURB INLET INSTALLATION.
6. CONSTRUCT DEVELOPMENT PER APPROVED PLANS.
7. INSTALL STREETSCAPE AND/OR LANDSCAPING IMPROVEMENTS.
8. CONTRACTOR TO VEGETATE ANY DISTURBED AREAS ONCE FINAL GRADING IS COMPLETE, AND ESTABLISH A MIN OF 70% VEGETATION PRIOR TO COMPLETION. PER TPDES REQUIREMENTS, DISTURBED AREAS ON WHICH CONSTRUCTION ACTIVITIES HAVE CEASED (TEMPORARILY OR PERMANENTLY) SHALL BE STABILIZED WITHIN 14 DAYS UNLESS ACTIVITY RESUMES WITHIN 21 DAYS. SEEDING DOES NOT CONSTITUTE AS STABILIZATION.
9. REMOVE ALL TEMPORARY EROSION CONTROL MEASURES.

NOTE:

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DISTURBED AREAS ON WHICH CONSTRUCTION ACTIVITIES HAVE CEASED (TEMPORARILY OR PERMANENT) AND SHALL BE STABILIZED WITHIN 14 DAYS UNLESS ACTIVITY RESUMES IN 21 DAYS, PER TPDES REQUIREMENTS. SEEDING DOES NOT CONSTITUTE AS STABILIZATION.

THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR WILL AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE INCURRED BY THEIR FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES, STRUCTURES OR FACILITIES. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES 24-HOURS PRIOR TO COMMENCING CONSTRUCTION.

290 S. CASTELL AVE., STE. 100
NEW BRAUNFELS, TX 78130
TBPE FIRM F-10961
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08/07/2020

EROSION CONTROL PLAN

CLOUD COUNTRY
UNITS 6 & 8

NO.	REVISION DESCRIPTION	REVISION DATE

DATE: AUGUST 2020

DRAWN BY: JMM

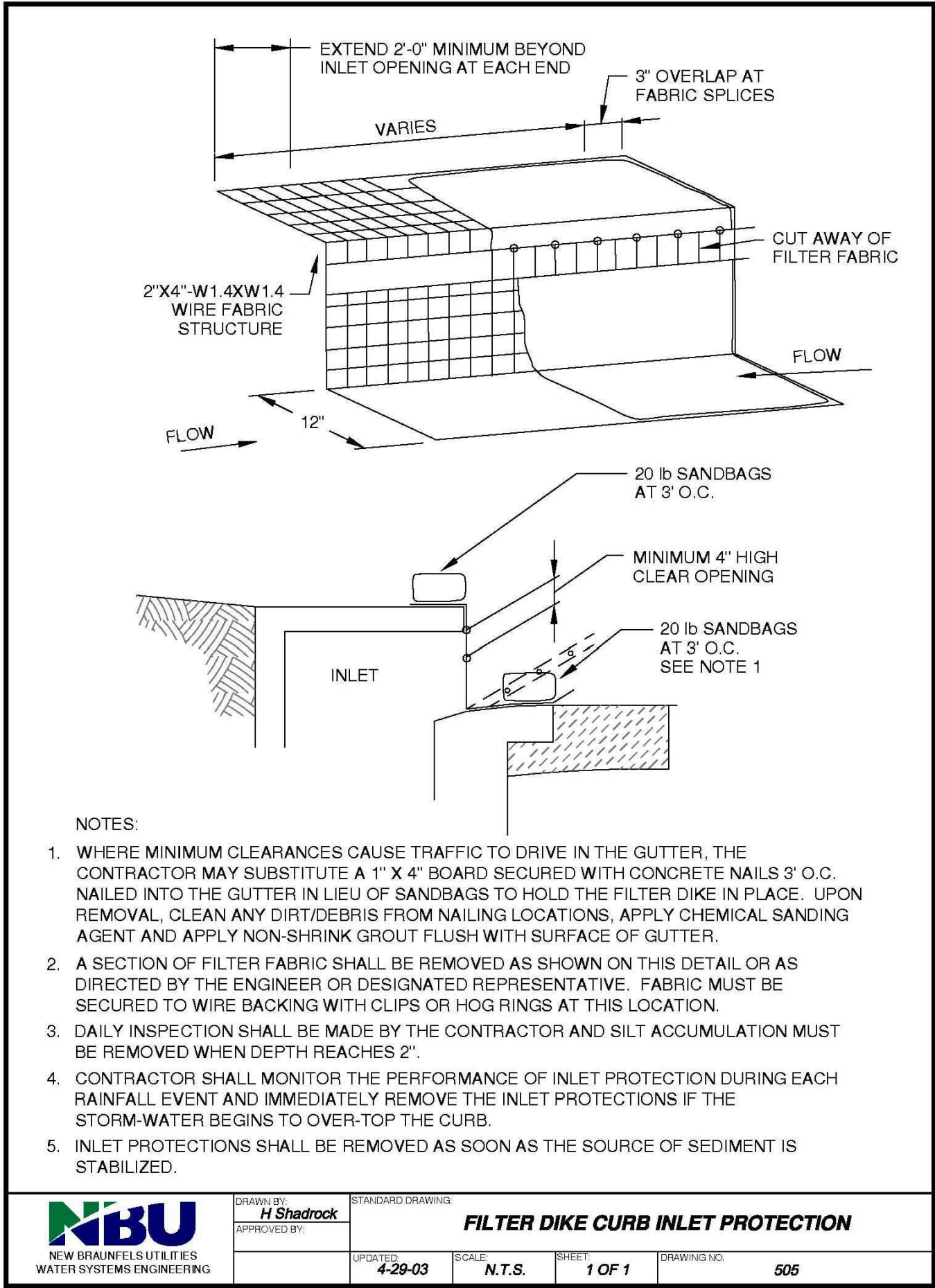
DESIGNED BY: JMM

REVIEWED BY: CVH

HMT PROJECT NO.:
056.018

SHEET

C4.00



CONCRETE WASHOUT AREAS

THE PURPOSE OF CONCRETE WASHOUT AREAS IS TO PREVENT OR REDUCE THE DISCHARGE OF POLLUTANTS TO STORMWATER FROM CONCRETE WASTE BY CONDUCTING WASHOUT OFFSITE, PERFORMING ONSITE WASHOUT IN A DESIGNATED AREA, AND TRAINING EMPLOYEES AND SUBCONTRACTORS.

THE FOLLOWING STEPS WILL HELP REDUCE STORMWATER POLLUTION FROM CONCRETE WASTES:

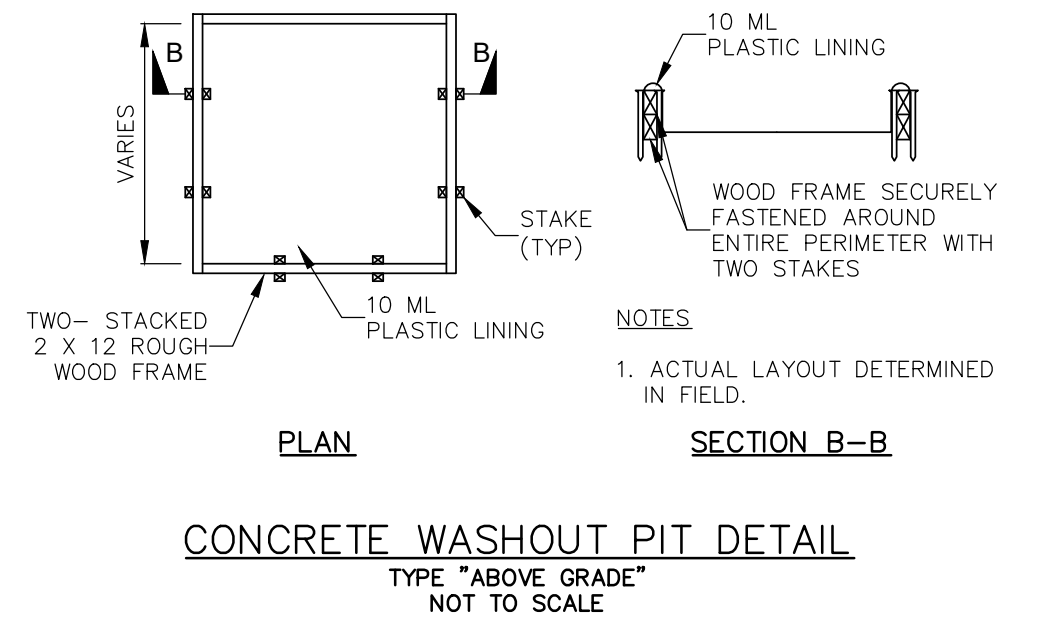
- INCORPORATE REQUIREMENTS FOR CONCRETE WASTE MANAGEMENT INTO MATERIAL SUPPLIER AND SUBCONTRACTOR AGREEMENTS.
- AVOID MIXING EXCESS AMOUNTS OF FRESH CONCRETE.
- PERFORM WASHOUT OF CONCRETE TRUCKS IN DESIGNATED AREAS ONLY.
- DO NOT WASH OUT CONCRETE TRUCKS INTO STORM DRAINS, OPEN DITCHES, STREETS, OR STREAMS.
- DO NOT ALLOW EXCESS CONCRETE TO BE DUMPED ONSITE, EXCEPT IN DESIGNATED AREAS.

FOR ONSITE WASHOUT:

- LOCATE WASHOUT AREA AT LEAST 50 FEET FROM SENSITIVE FEATURES, STORM DRAINS, OPEN DITCHES, OR WATER BODIES. DO NOT ALLOW RUNOFF FROM THIS AREA BY CONSTRUCTING A TEMPORARY PIT OR BERMED AREA LARGE ENOUGH FOR LIQUID AND SOLID WASTE.
- WASH OUT WASTES INTO THE TEMPORARY PIT WHERE THE CONCRETE CAN SET, BE BROKEN UP, AND THEN DISPOSED PROPERLY.

BELOW GRADE CONCRETE WASHOUT FACILITIES ARE TYPICAL. THESE CONSIST OF A LINED EXCAVATION SUFFICIENTLY LARGE TO HOLD EXPECTED VOLUME OF WASHOUT MATERIAL. ABOVE GRADE FACILITIES ARE USED IF EXCAVATION IS NOT PRACTICAL. TEMPORARY CONCRETE WASHOUT FACILITY (TYPE ABOVE GRADE) SHOULD BE CONSTRUCTED AS SHOWN ON THE DETAILS AT THE END OF THIS SECTION, WITH SUFFICIENT QUANTITY AND VOLUME TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS. PLASTIC LINING MATERIAL SHOULD BE A MINIMUM OF 10 ML IN POLYETHYLENE SHEETING AND SHOULD BE FREE OF HOLES, TEARS, OR OTHER DEFECTS THAT COMPROMISE THE IMPERMEABILITY OF THE MATERIAL.

WHEN TEMPORARY CONCRETE WASHOUT FACILITIES ARE NO LONGER REQUIRED FOR THE WORK, THE HARDENED CONCRETE SHOULD BE REMOVED AND DISPOSED OF. MATERIALS USED TO CONSTRUCT TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE REMOVED FROM THE SITE OF THE WORK AND DISPOSED OF HOLES, DEPRESSIONS OR OTHER GROUND DISTURBANCE CAUSED BY THE REMOVAL OF THE TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE BACKFILLED AND REPAIRED.



SILT FENCE

MATERIALS:

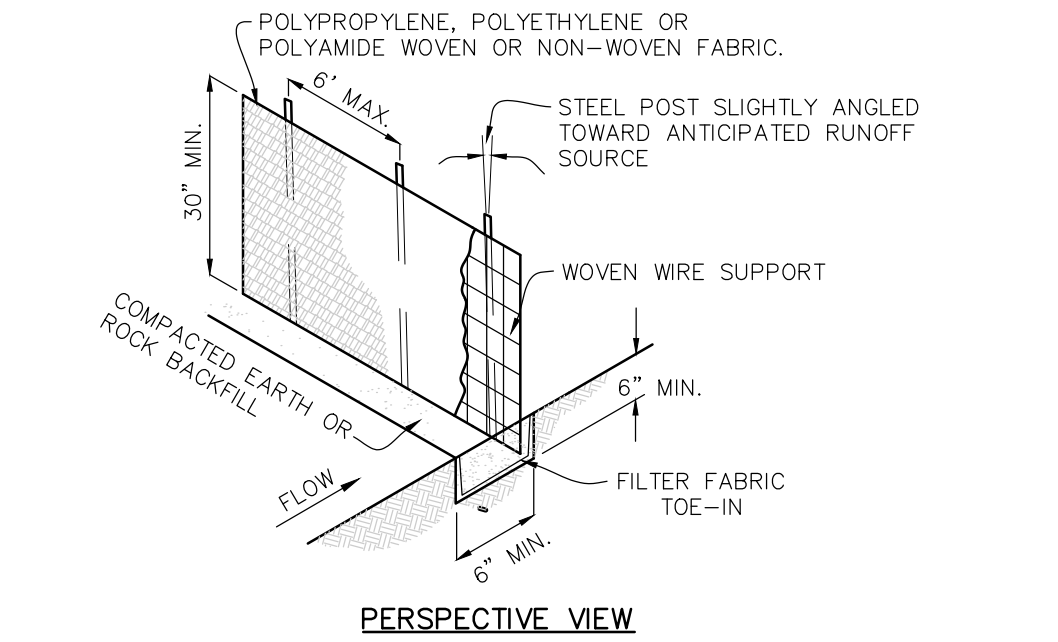
- SILT FENCE MATERIAL SHOULD BE POLYPROPYLENE, POLYETHYLENE OR POLYAMIDE WOVEN OR NONWOVEN FABRIC. THE FABRIC WIDTH SHOULD BE 36 INCHES, WITH A MINIMUM UNIT WEIGHT OF 4.5 OZ/YD, MULLEN BURST STRENGTH EXCEEDING 190 LB/IN², ULTRAVIOLET STABILITY EXCEEDING 70%, AND MINIMUM APPARENT OPENING SIZE OF U.S. SIEVE NO. 30.
- FENCE POSTS SHOULD BE MADE OF HOT ROLLED STEEL, AT LEAST 4 FEET LONG WITH TEE OR YBAR CROSS SECTION, SURFACE PAINTED OR GALVANIZED, MINIMUM NOMINAL WEIGHT 1.25 LB/FT², AND BRINDELL HARDNESS EXCEEDING 140.
- WOVEN WIRE BACKING TO SUPPORT THE FABRIC SHOULD BE GALVANIZED 2" X 4" WELDED WIRE, 12 GAUGE MINIMUM.

INSTALLATION:

- STEEL POSTS, WHICH SUPPORT THE SILT FENCE, SHOULD BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MINIMUM OF 1- FOOT DEEP AND SPACED NOT MORE THAN 8 FEET ON CENTER, WHERE WATER CONCENTRATES, THE MAXIMUM SPACING SHOULD BE 6 FEET.
- LAY OUT FENCING DOWN-SLOPE OF DISTURBED AREA, FOLLOWING THE CONTOUR AS CLOSELY AS POSSIBLE. THE FENCE SHOULD BE SITED SO THAT THE MAXIMUM DRAINAGE AREA IS 1/4 ACRE/100 FEET OF FENCE.
- THE TOE OF THE SILT FENCE SHOULD BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWN-SLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW, WHERE FENCE CANNOT BE TRENCHED IN (E.G., PAVEMENT OR ROCK OUTCROP), WEIGHT FABRIC FLAP WITH 3 INCHES OF PEA GRAVEL ON UPHILL SIDE TO PREVENT FLOW FROM SEEPING UNDER FENCE.
- THE TRENCH MUST BE A MINIMUM OF 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
- SILT FENCE SHOULD BE SECURELY FASTENED TO EACH STEEL SUPPORT POST OR TO WOVEN WIRE, WHICH IS IN TURN ATTACHED TO THE STEEL FENCE POST. THERE SHOULD BE A 3-FOOT OVERLAP, SECURELY FASTENED WHERE ENDS OF FABRIC MEET.
- SILT FENCE SHOULD BE REMOVED WHEN THE SITE IS COMPLETELY STABILIZED SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.

INSPECTION AND MAINTENANCE GUIDELINES:

- INSPECT ALL FENCING WEEKLY, AND AFTER ANY RAINFALL.
- REMOVE SEDIMENT WHEN BUILDUP REACHES 6 INCHES.
- REPLACE ANY TORN FABRIC OR INSTALL A SECOND LINE OF FENCING PARALLEL TO THE TORN SECTION.
- REPLACE OR REPAIR ANY SECTIONS CRUSHED OR COLLAPSED IN THE COURSE OF CONSTRUCTION ACTIVITY. IF A SECTION OF FENCE IS OBSTRUCTING VEHICULAR ACCESS, CONSIDER RELOCATING IT TO A SPOT WHERE IT WILL PROVIDE EQUAL PROTECTION, BUT WILL NOT OBSTRUCT VEHICLES. A TRIANGULAR FILTER DIKE MAY BE PREFERABLE TO A SILT FENCE AT COMMON VEHICLE ACCESS POINTS.
- WHEN CONSTRUCTION IS COMPLETE, THE SEDIMENT SHOULD BE DISPOSED OF IN A MANNER THAT WILL NOT CAUSE ADDITIONAL SILTATION AND THE PRIOR LOCATION OF THE SILT FENCE SHOULD BE REVEGETATED. THE FENCE ITSELF SHOULD BE DISPOSED OF IN AN APPROVED LANDFILL.



PERSPECTIVE VIEW

SILT FENCE DETAIL
NOT TO SCALE

STABILIZED CONSTRUCTION ENTRANCE / EXIT

MATERIALS:

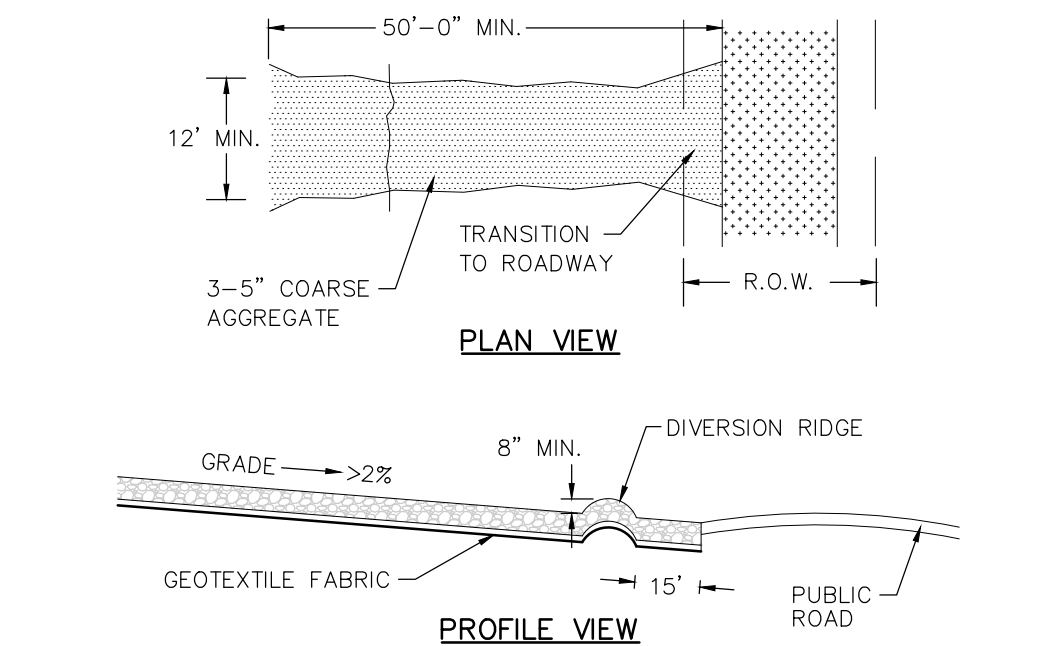
- THE AGGREGATE SHOULD CONSIST OF 3 TO 5 INCH WASHED STONE OVER A STABLE FOUNDATION AS SPECIFIED IN THE PLAN.
- THE AGGREGATE SHOULD BE PLACED WITH A MINIMUM THICKNESS OF 8 INCHES.
- THE GEOTEXTILE FABRIC SHOULD BE DESIGNED SPECIFICALLY FOR USE AS A SOIL FILTRATION MEDIA WITH AN APPROXIMATE WEIGHT OF 6 OZ/YD², A MULLEN BURST RATING OF 140 LB/IN², AND AN EQUIVALENT OPENING SIZE GREATER THAN A NUMBER 50 SIEVE.
- IF A WASHING FACILITY IS REQUIRED, A LEVEL AREA WITH A MINIMUM OF 4 INCH DIAMETER WASHED STONE OR COMMERCIAL RACK SHOULD BE INCLUDED IN THE PLANS. DIVERT WASTEWATER TO A SEDIMENT TRAP OR BASIN.

INSTALLATION:

- AVOID CURVES ON PUBLIC ROADS AND STEEP SLOPES, REMOVE VEGETATION AND OTHER OBJECTIONABLE MATERIAL FROM THE FOUNDATION AREA. GRADE CROWN FOUNDATION FOR POSITIVE DRAINAGE.
- THE MINIMUM WIDTH OF THE ENTRANCE/EXIT SHOULD BE 12 FEET OR THE FULL WIDTH OF EXIT ROADWAY, WHICHEVER IS GREATER.
- THE CONSTRUCTION ENTRANCE SHOULD BE AT LEAST 50 FEET LONG.
- IF THE SLOPE TOWARD THE ROAD EXCEEDS 2%, CONSTRUCT A RIDGE, 6 TO 8 INCHES HIGH WITH 3:1 (H:V) SIDE SLOPES, ACROSS THE FOUNDATION APPROXIMATELY 15 FEET FROM THE ENTRANCE TO DIVERT RUNOFF AWAY FROM THE PUBLIC ROAD.
- PLACE GEOTEXTILE FABRIC AND GRADE FOUNDATION TO IMPROVE STABILITY, ESPECIALLY WHERE WET CONDITIONS ARE ANTICIPATED.
- PLACE STONE TO DIMENSIONS AND GRADE SHOWN ON PLANS. LEAVE SURFACE SMOOTH AND SLOPE FOR DRAINAGE.
- DIVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE STONE PAD TO A SEDIMENT TRAP OR BASIN.
- INSTALL PIPE UNDER PAD AS NEEDED TO MAINTAIN PROPER PUBLIC ROAD DRAINAGE.

INSPECTION AND MAINTENANCE GUIDELINES:

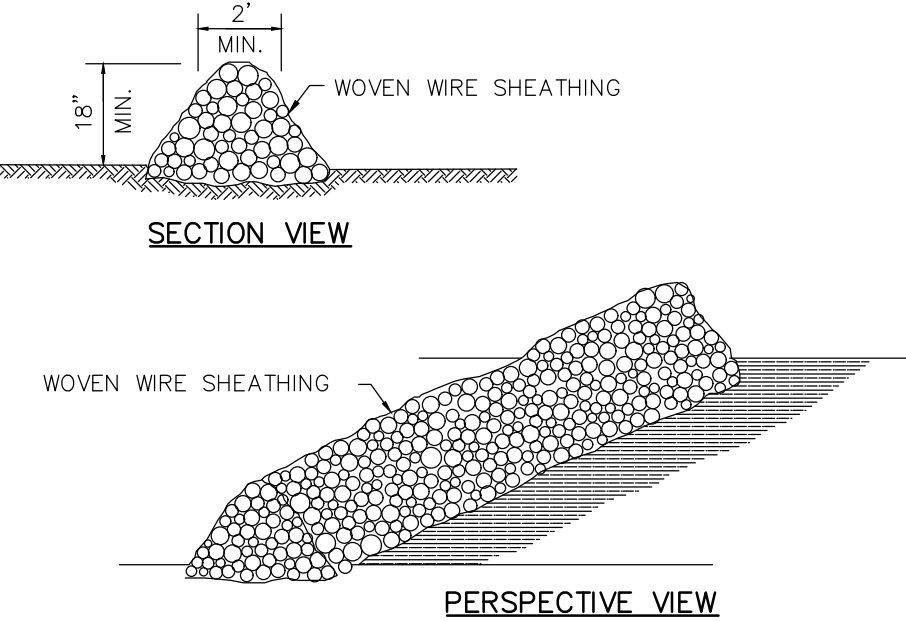
- THE ENTRANCE SHOULD BE MAINTAINED IN A CONDITION, WHICH WILL PREVENT TRACKING OR LOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
- ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY SHOULD BE REMOVED IMMEDIATELY BY CONTRACTOR.
- WHEN NECESSARY, WHEELS SHOULD BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
- WHEN WASHING IS REQUIRED, IT SHOULD BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.
- ALL SEDIMENT SHOULD BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATER COURSE BY USING APPROVED METHODS.



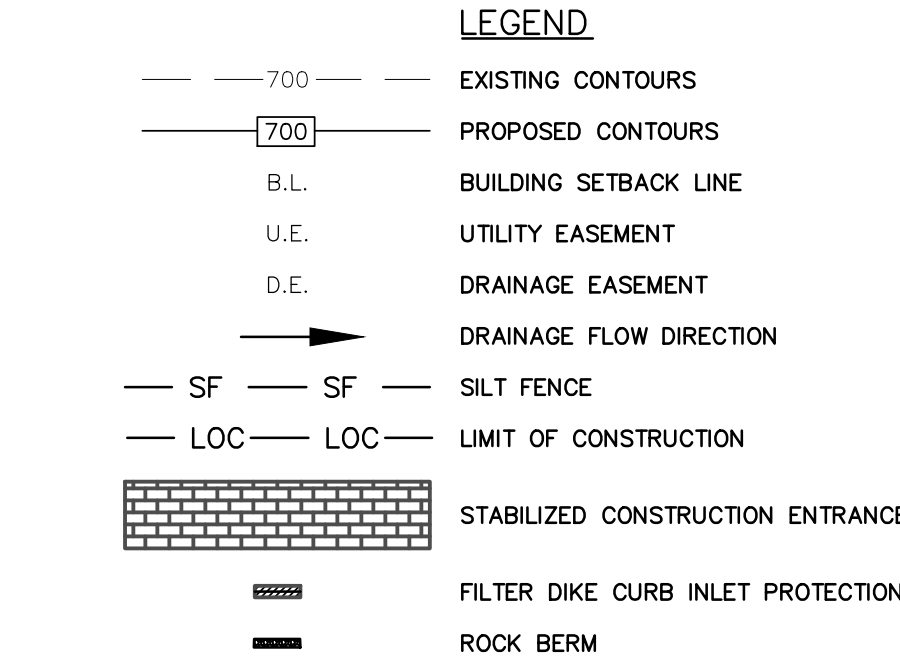
CONSTRUCTION ENTRANCE DETAIL
NOT TO SCALE

ROCK BERM

- USE ONLY OPEN GRADED ROCK 3-5" DIAMETER.
- THE ROCK BERM SHALL BE SECURED WITH A WOVEN WIRE SHEATHING HAVING MAXIMUM 1" OPENINGS AND MINIMUM WIRE DIAMETER OF 20 GAUGE.
- THE ROCK BERM SHALL BE INSPECTED WEEKLY OR AFTER EACH RAIN, AND THE STONE AND/OR FABRIC CORE-WOVEN WIRE SHEATHING SHALL BE REPLACED WHEN THE STRUCTURE CEASES TO FUNCTION AS INTENDED, DUE TO SILT ACCUMULATION AMONG THE ROCKS, WASHOUT CONSTRUCTION TRAFFIC DAMAGE, ETC.
- WHEN SILT REACHES A DEPTH EQUAL TO 6", THE SILT WILL BE REMOVED AND DISPOSED OF IN AN APPROVED SITE AND IN SUCH A MANNER AS TO NOT CREATE A SILTATION PROBLEM.
- DAILY INSPECTION SHALL BE MADE ON SEVERE SERVICE ROCK BERMS
- WHEN THE SITE IS COMPLETELY STABILIZED, THE BERM AND ACCUMULATED SILT SHALL BE REMOVED AND DISPOSED OF IN AN APPROVED MANNER.



ROCK BERM DETAIL
NOT TO SCALE



SEQUENCE OF CONSTRUCTION

- INSTALL EROSION CONTROLS PER APPROVED PLAN.
- TEMPORARY CONTROLS TO BE INSPECTED AND MAINTAINED WEEKLY AND PRIOR TO ANTICIPATED RAINFALL EVENTS, AND AFTER RAINFALL EVENTS, AS NEEDED. CONTRACTOR/OWNER SHALL PROVIDE A CONTACT NAME AND NUMBER FOR EROSION CONTROL ISSUES.
- CONDUCT DEMOLITION ACTIVITIES, IF APPLICABLE.
- CONSTRUCT DRAINAGE IMPROVEMENTS, IF APPLICABLE.
- CONSTRUCT CURB INLET PROTECTION AT THE TIME OF CURB INLET INSTALLATION.
- CONSTRUCT DEVELOPMENT PER APPROVED PLANS.
- INSTALL STREETSCAPE AND/OR LANDSCAPING IMPROVEMENTS.
- CONTRACTOR TO VEGETATE ANY DISTURBED AREAS ONCE FINAL GRADING IS COMPLETE, AND ESTABLISH A MIN OF 65% VEGETATION PRIOR TO COMPLETION
- REMOVE ALL TEMPORARY EROSION CONTROL MEASURES.

NOTE:

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DISTURBED AREAS ON WHICH CONSTRUCTION ACTIVITIES HAVE CEASED (TEMPORARILY OR PERMANENT) AND SHALL BE STABILIZED WITHIN 14 DAYS UNLESS ACTIVITY RESUMES IN 21 DAYS, PER TPDES REQUIREMENTS.

THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR WILL AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE INCURRED BY THEIR FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES, STRUCTURES OR FACILITIES. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES 24-HOURS PRIOR TO COMMENCING CONSTRUCTION.

290 S. CASTELL AVE., STE. 100
NEW BRAUNFELS, TX 78130
TBPE FIRM F-10961
TBPLS FIRM 1053600



08/07/2020

EROSION CONTROL
DETAILS
CLOUD COUNTRY
UNITS 6 & 8

REVISION	DESCRIPTION	DATE
NO.		

DATE: AUGUST 2020

DRAWN BY: JMM

DESIGNED BY: JMM

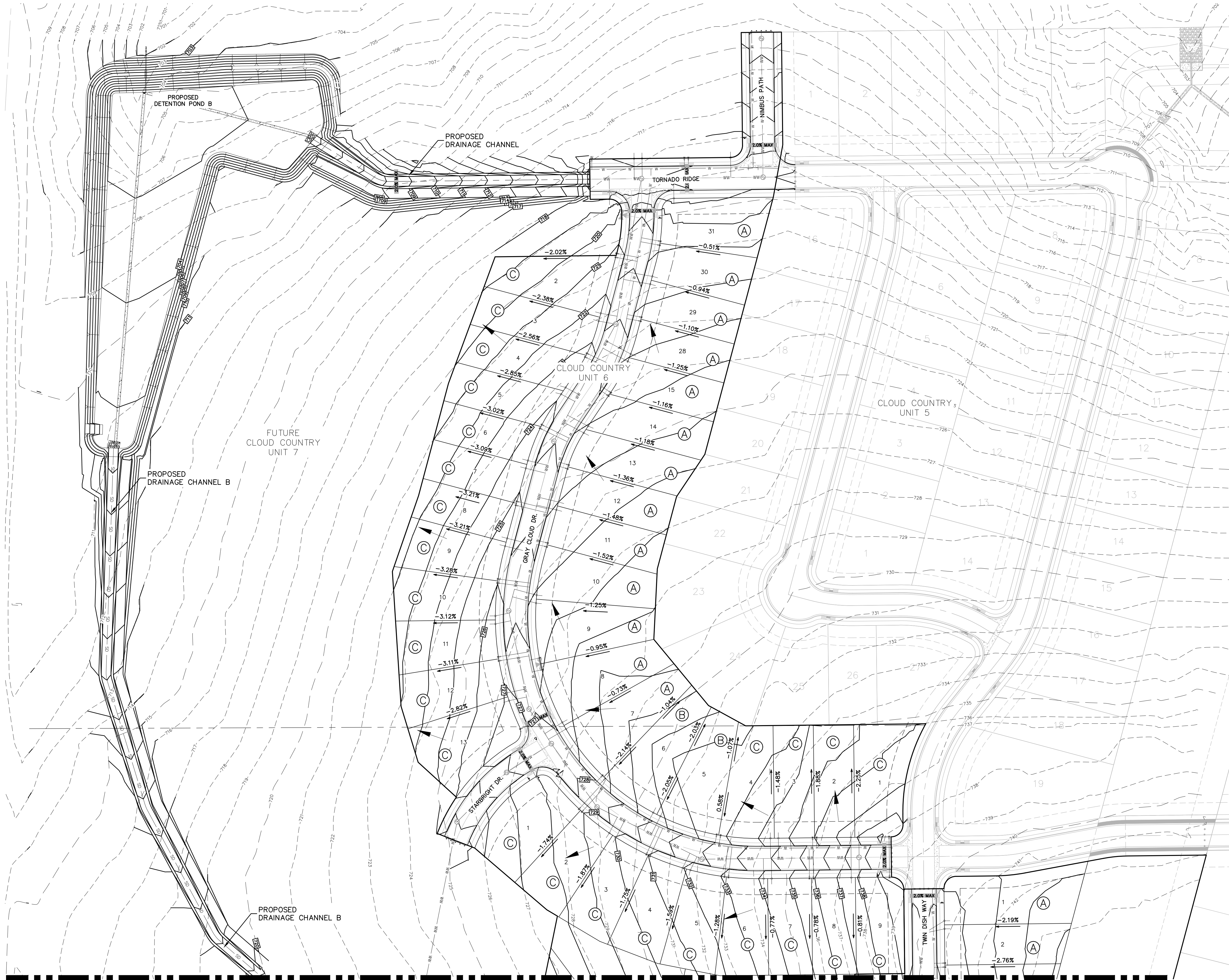
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HMT PROJECT NO.:
056.018

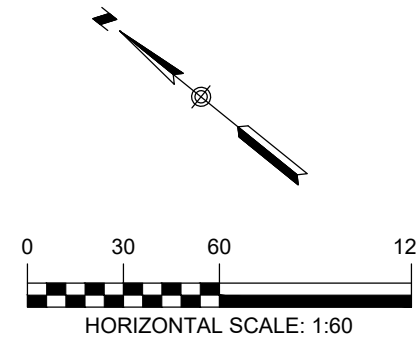
SHEET

C4.01

Drawing Name: N:_Projects\056 - Cloud Country Unit 6\Cloud Country Unit 6\056.018_G940.dwg User: jphmm Aug 07, 2020 - 12:07pm



MATCHLINE
(SEE SHEET C5.01)



LEGEND	
	EXISTING CONTOURS
	PROPOSED CONTOURS
	B.L. BUILDING SETBACK LINE
	U.E. UTILITY EASEMENT
	D.E. DRAINAGE EASEMENT
	LOT GRADING SEE DETAILS SHEET C5.02
	DRAINAGE FLOW DIRECTION

NOTES:

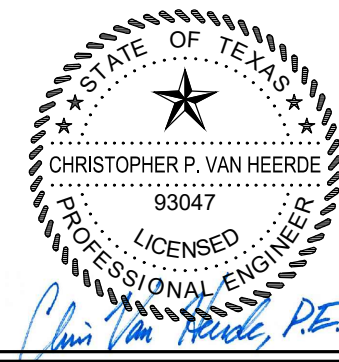
1. DRAINAGE IMPROVEMENTS SUFFICIENT TO MITIGATE OFFSITE IMPACT OF CONSTRUCTION MUST BE COMPLETED AND IN PLACE PRIOR TO ADDING IMPERVIOUS COVER TO THE SITE.
2. ALL FINISHED FLOOR ELEVATIONS SHALL MEET THE FOLLOWING REQUIREMENTS:
 - 2.A. PER NOTE 10 ON PLAT SHEETS C2.1, C2.3.
 - 2.B. HUD DETAILS SHOWN ON SHEET C5.2.
3. WHEN POSSIBLE, CONTRACTOR SHALL PHASE GRADING SO AS TO EXPOSE THE MINIMUM AMOUNT OF AREA TO SOIL EROSION FOR THE SHORTEST PERIOD OF TIME.

EARTHWORK VOLUMES	
EXCAVATION & EMBANKMENT	VOLUME (CY)
CUT	39,963
FILL	38,137
NET	1826 [CUT]

REFER TO THE COVER SHEET
FOR BENCHMARK INFORMATION.

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TBPE FIRM F-10961
TBPLS FIRM 1053600



08/07/2020

GRADING PLAN (1 OF 2)

**CLOUD COUNTRY
UNITS 6 & 8**

NO.	REVISION DESCRIPTION	REVISION DATE

DATE: AUGUST 2020

DRAWN BY: JMM

DESIGNED BY: JMM

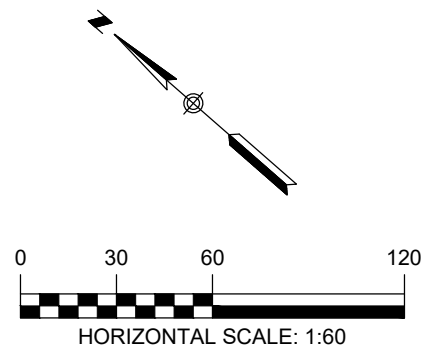
REVIEWED BY: CVH

HMT PROJECT NO.:
056.018

SHEET
C5.00

REFER TO THE COVER SHEET
FOR BENCHMARK INFORMATION.

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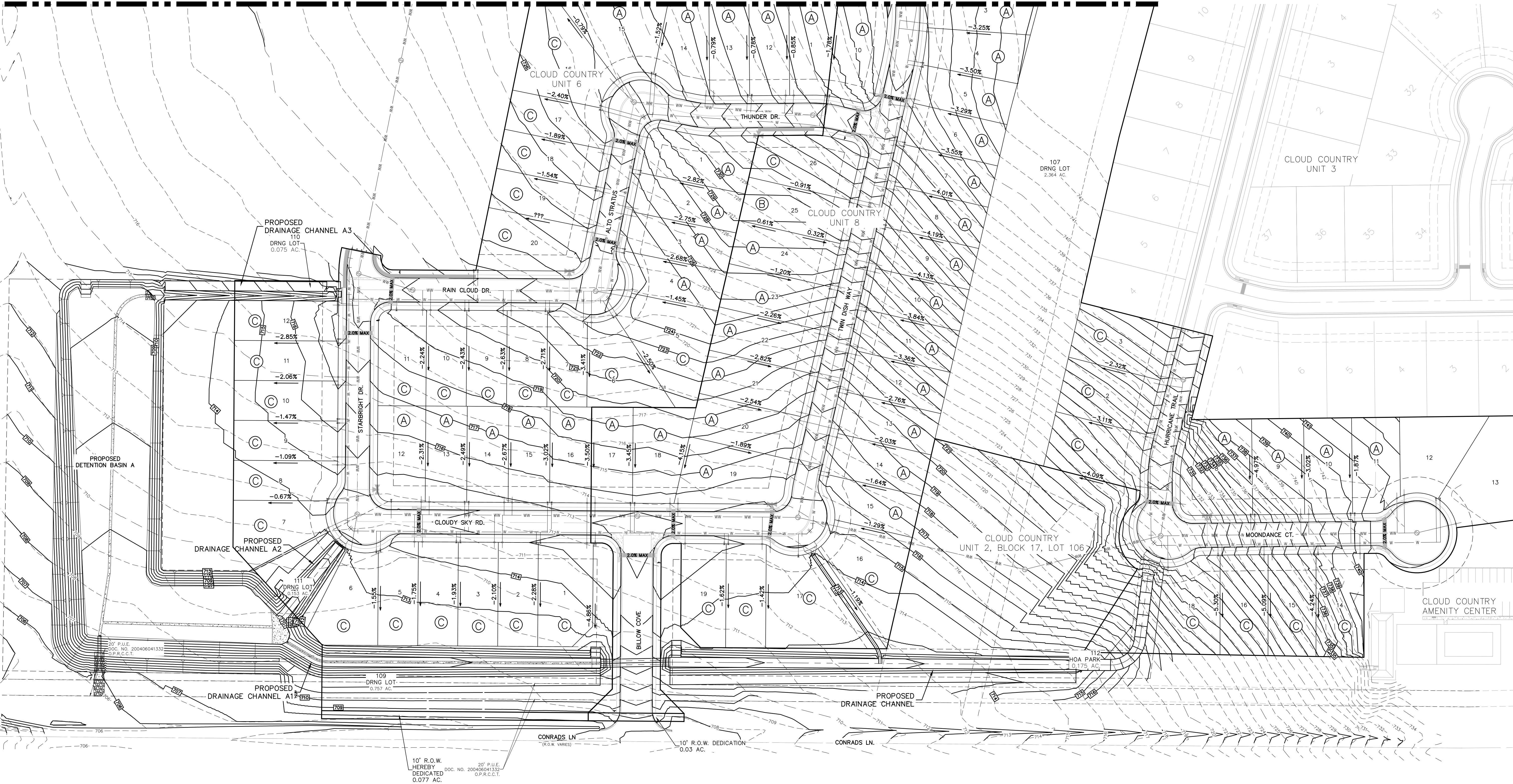


- LEGEND**
- 700 — EXISTING CONTOURS
 - 700 — PROPOSED CONTOURS
 - B.L. — BUILDING SETBACK LINE
 - U.E. — UTILITY EASEMENT
 - D.E. — DRAINAGE EASEMENT
 - (A) — LOT GRADING
SEE DETAILS SHEET C5.02
 - — DRAINAGE FLOW DIRECTION

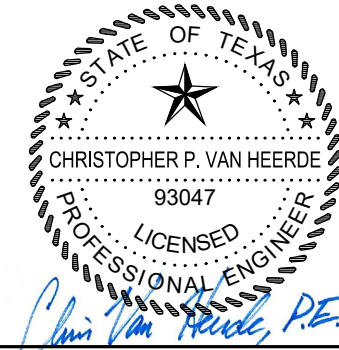
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 - PER NOTE 10 ON PLAT SHEETS C2.1, C2.3.
 - HUD DETAILS SHOWN ON SHEET C5.2.
- WHEN POSSIBLE, CONTRACTOR SHALL PHASE GRADING SO AS TO EXPOSE THE MINIMUM AMOUNT OF AREA TO SOIL EROSION FOR THE SHORTEST PERIOD OF TIME.

**(SEE SHEET C5.00)
MATCHLINE**



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08/07/2020

GRADING PLAN (2 OF 2)

**CLOUD COUNTRY
UNITS 6 & 8**

NO.	REVISION	DESCRIPTION	REVISION DATE

DATE: AUGUST 2020

DRAWN BY: JMM

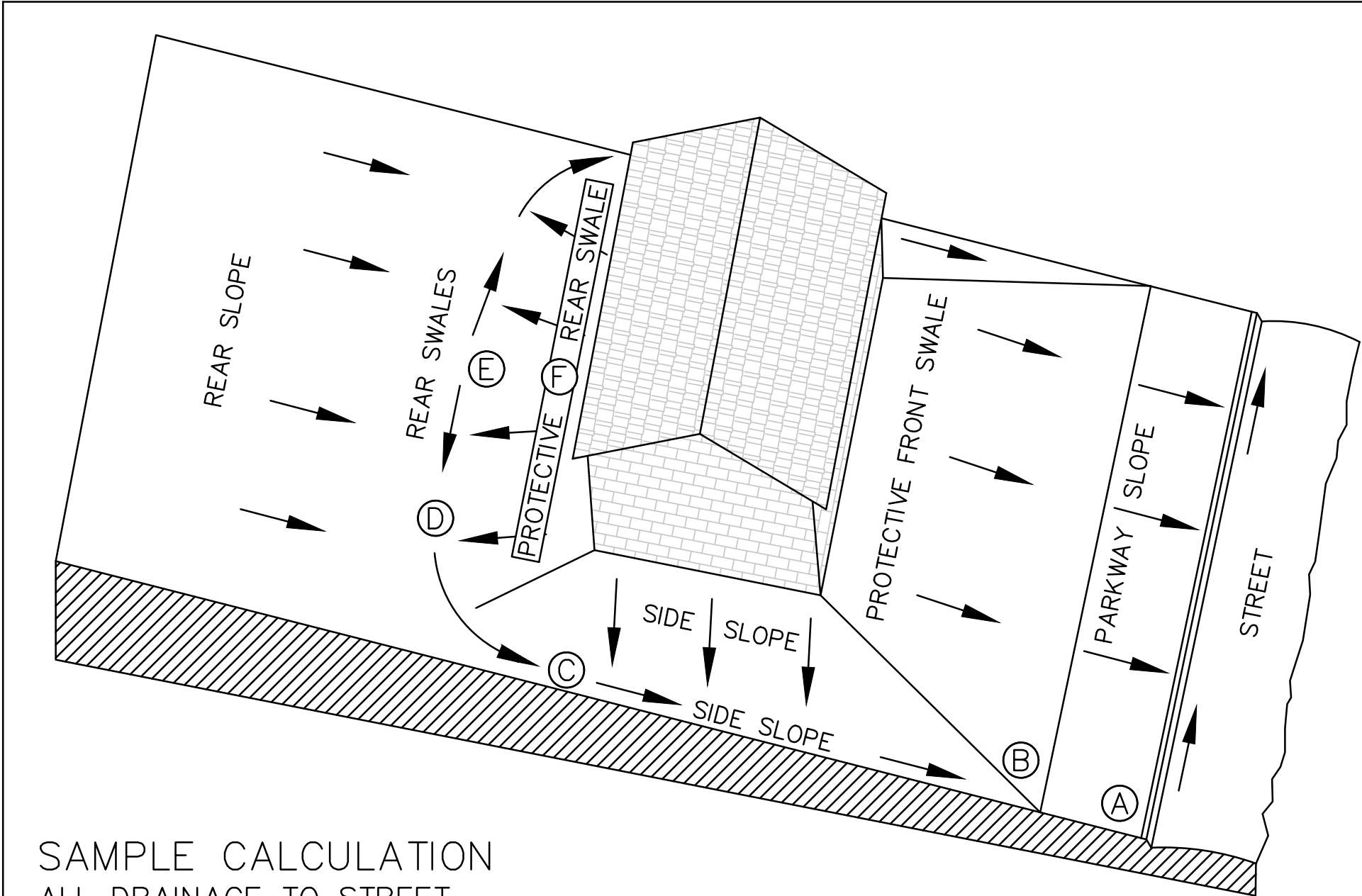
DESIGNED BY: JMM

REVIEWED BY: CVH

HMT PROJECT NO.:
056.018

**SHEET
C5.01**

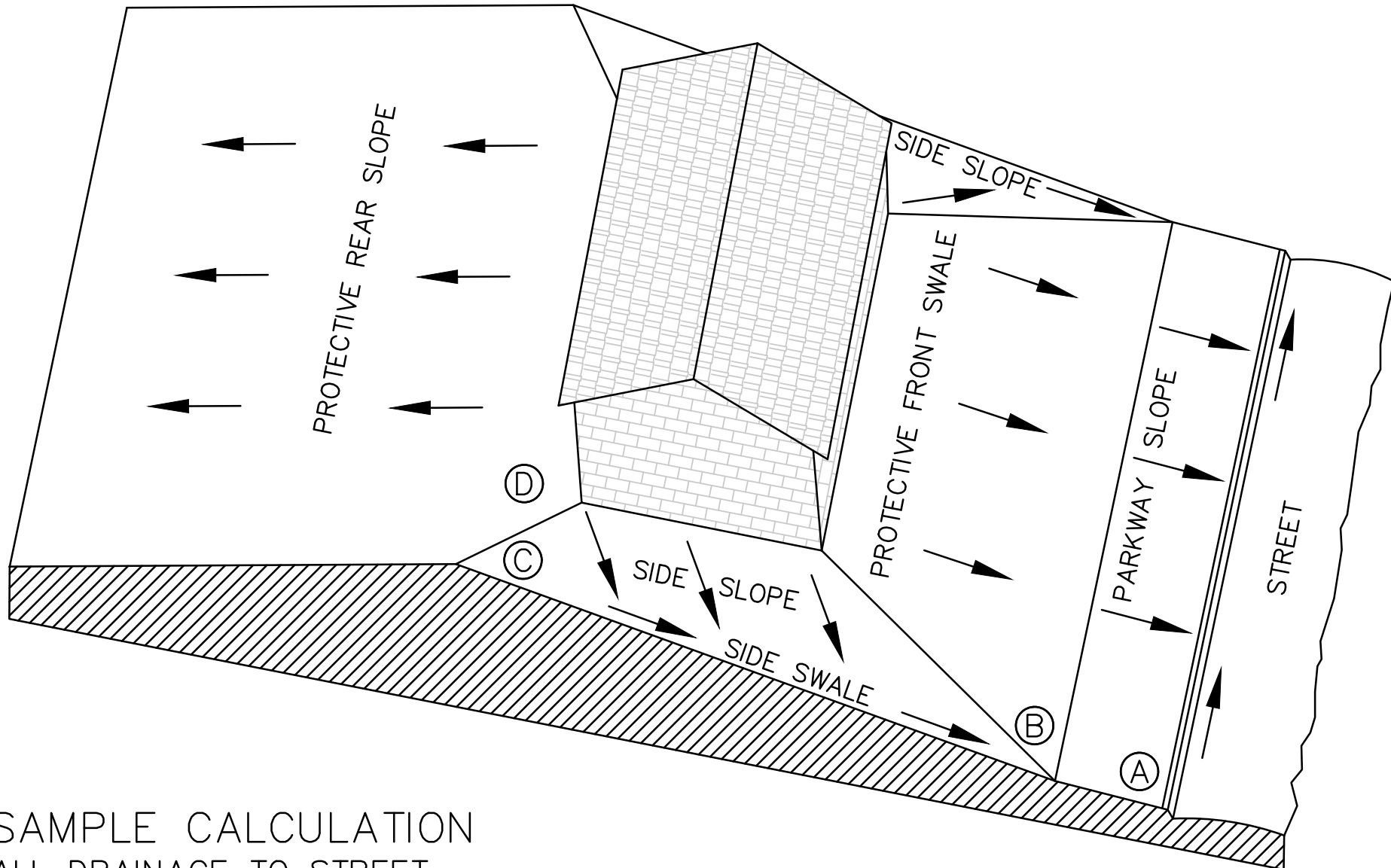
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SAMPLE CALCULATION
ALL DRAINAGE TO STREET

SAMPLE COMPUTATION OF GRADING CONTROL LINE AF FOR A 60' WIDE LOT WITH A 25' BUILDING LINE, 0.5% STREET, WITH 60' BUILDING DEPTH AND 2% SWALES.				RESULTS OF 1% SWALES		
A	CURB—TOP ON LOT LINE EXTENSION AT HIGH LOT CORNER					<div>CALCULATIONS FOR 2% SWALES</div> <div>15 x 0.25' = 3½"</div> <div>85 x 0.25' = 21½"</div> <div>16 x 0.25' = 4"</div> <div>13 x 0.25' = 3½"</div> <div>10 x 0.25' = 2½"</div> <div>35" + 8" = 43"</div> <div>54" + 9" = 63"</div> <div>CALCULATIONS USE 0.25" PER FOOT GRADIENT FOR A 2% SWALE.</div>
AB	PARKWAY SLOPE: 15' GRASS AND WALK AT 1/4"/FT. (2%)	4"	(0.3')	2"	(0.2')	
BC	SIDE SWALE: 85' GRASS AT 1/4"/FT. (2%)	21"	(1.8')	11"	(0.9')	
CD	SWALE TURN WITH 10' RADIUS:16' GRASS AT 1/4"/FT. (2%)	4"	(0.3')	2"	(0.2')	
DE**	REAR SWALE: 13' GRASS AT 1/4"/FT. (2%)	3"	(0.3')	2"	(0.2')	
EF*	PROTECTIVE REAR SLOPE UP FROM HIGH POINT OF SWALES	3"	(0.3')	3"	(0.3')	
SUB—TOTAL AF FROM CURB TOP TO GROUND AT REAL BLDG WALL		35"	(3.0')	20"	(1.7')	34½"
MINIMUM RISE FROM CURB TOP TO SLAB FLOOR: 35" + 8"		43"	(3.6')	28"	(2.3')	
MINIMUM RISE FOR WOOD FLOOR USING 8" JOISTS: 35" + 9"		54"	(4.5')	39"	(3.3')	
* WHERE THERE IS A HIGH BANK NEARBY OR A LONG SLOPE TOWARD HOUSE, A MINIMUM 6" PROTECTIVE SLOPE IS REQUIRED.						
** LENGTH DE = [1/2(LOT WIDTH - (2x SWALE TURN RADIUS))] - [LOT WIDTH x (STREET GRADIENT x SWALE GRADIENT)]						

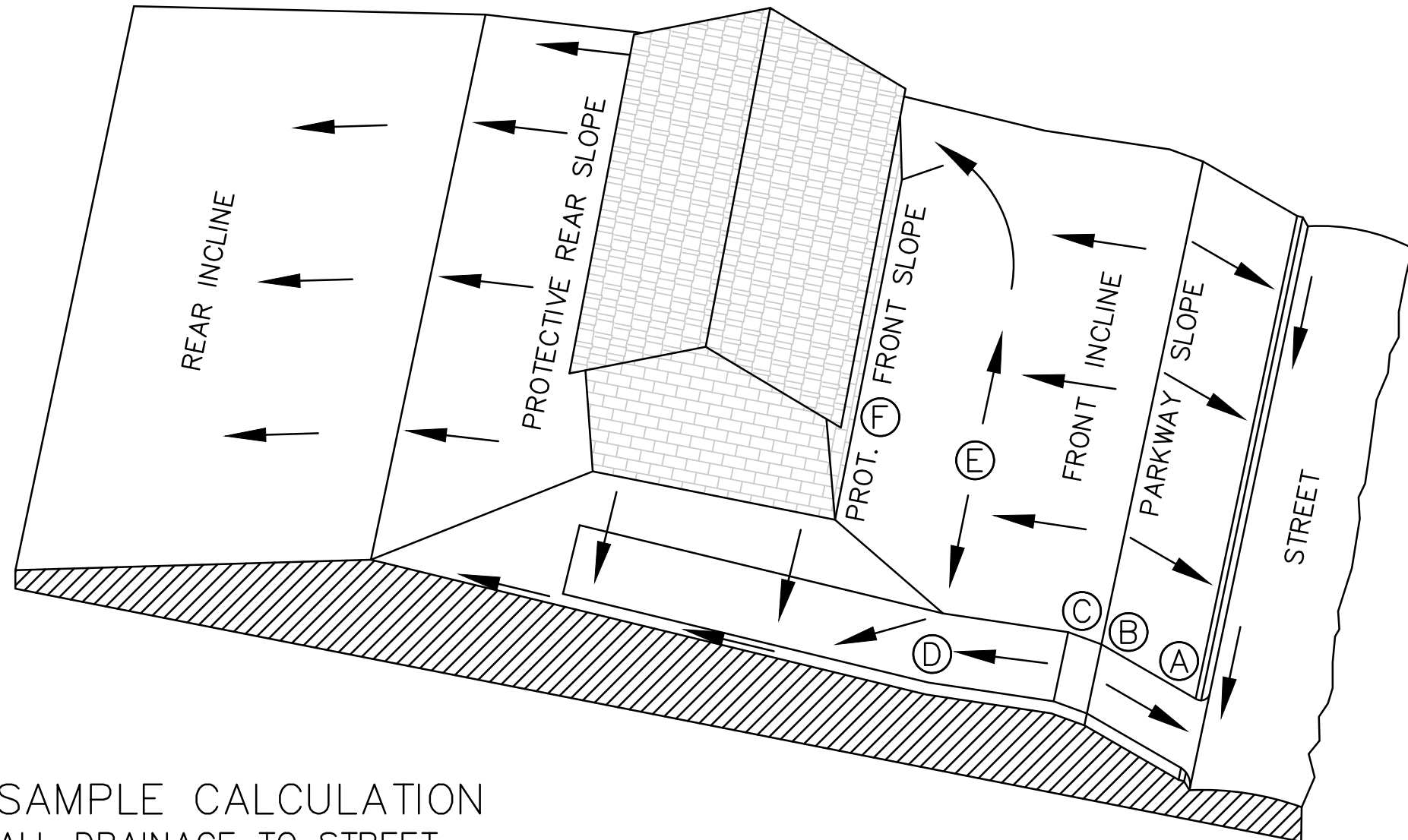
LOT TYPE A



SAMPLE CALCULATION
ALL DRAINAGE TO STREET

SAMPLE COMPUTATION OF GRADING CONTROL LINE AF FOR A 60' WIDE LOT WITH A 25' BUILDING LINE, 0.5% STREET, WITH 60' BUILDING DEPTH AND 2% SWALES.				RESULTS OF 1% SWALES		<div>CALCULATIONS FOR 2% SWALES</div> <div>15 x 0.25' = 3³/_{4"}</div> <div>85 x 0.25' = 21¹/_{2"}</div> <div>6 x 0.25' = 1¹/_{2"}</div> <div>26¹/_{2"}</div>
A	CURB-TOP ON LOT LINE EXTENSION AT HIGH LOT CORNER					
AB	PARKWAY SLOPE: 15' GRASS AND WALK AT 1/4"/FT. (2%)	4"	(0.3')	2"	(0.2')	
BC	SIDE SWALE: 85' GRASS AT 1/4"/FT. (2%)	21"	(1.8')	11"	(0.9')	
CD*	PROTECTIVE SIDE SLOPE @ REAR BLDG. WALL EXTENSION	3"	(0.3')	3"	(0.3')	
SUB-TOTAL AD FROM CURB TOP TO GROUND AT REAL BLDG WALL		27"	(2.4')	16"	(1.4')	
MINIMUM RISE FROM CURB TOP TO SLAB FLOOR: 27" + 8"		35"	(2.9')	24"	(2.0')	
MINIMUM RISE FOR WOOD FLOOR USING 8" JOISTS: 35" + 9"		46"	(3.8')	35"	(2.9')	
* WHERE THERE IS A HIGH BANK NEARBY OR A LONG SLOPE TOWARD HOUSE, A MINIMUM 6" PROTECTIVE SLOPE IS REQUIRED.						

LOT TYPE B



SAMPLE CALCULATION
ALL DRAINAGE TO STREET

SAMPLE COMPUTATION OF GRADING CONTROL LINE \overline{AF} FOR A 60' WIDE LOT WITH A 25' BUILDING LINE, 13.5% DRIVEWAY, AND 16' FRONT SWALE \overline{DE} AT 2.0%.				RESULTS OF 1% SWALES		CALCULATIONS FOR SWALES
A	CURB—TOP HIGH SIDE OF DRIVE NEAR LOW LOT CORNER					$15 \times 0.25' = 3\frac{3}{4}"$
\overline{AB}	PARKWAY SLOPE: 15' GRASS AND WALK AT 1/4"/FT. (2%)	4" (0.3')	2" (0.2')			$0 \times 0.25' = 0"$
\overline{BC}	DRIVEWAY GRADE CHANGE: 4' VERTICAL CURVE FROM UP—GRADE DRIVE IN STREET TO DOWN—GRADE DRIVE ON LOT	0" (0.0')	0" (0.0')			$-11 \times 1.625' = -17\frac{3}{4}"$
\overline{CD}	DRIVEWAY DOWN—GRADE TO POINT 10 FEET OUT FROM FRONT OF BUILDING: -11' AT 18"/FT (13.5%)	-18" (-1.5')	-18" (-1.5')			$16 \times 0.25' = 4"$
\overline{DE}	FRONT SWALE: 16' GRASS AT 1/4"/FT. (2%)	4" (0.3')	2" (0.2')			$10 \times 0.25' = 2\frac{1}{2}"$
\overline{EF}^*	PROT. FRONT SLOPE UP FROM HIGH POINT OF SWALES	3" (0.3')	3" (0.3')			$-7\frac{1}{2}"$
SUB—TOTAL \overline{AF} FROM CURB TOP TO GROUND AT FRONT BLDG WALL		-7" (-1.0')	-11" (1.3')			
MINIMUM RISE FROM CURB TOP TO SLAB FLOOR: -7" + 8"		1" (-0.3')	-3" (0.7')			
MINIMUM RISE FOR WOOD FLOOR USING 8" JOISTS: -7" + 19"		12" (-0.6')	8" (0.3')			
* WHERE THERE IS A HIGH BANK NEARBY OR A LONG SLOPE TOWARD HOUSE, A MINIMUM 6" PROTECTIVE SLOPE IS REQUIRED.						

LOT TYPE C

GENERAL SPECIFICATIONS FOR SITE PREPARATION

GENERAL DESCRIPTION

THIS ITEM SHALL CONSIST OF ALL CLEARING AND PREPARATION OF LAND TO BE FILLED, FILLING OF THE LAND, SPREADING, COMPACTION TESTING AND INSPECTION OF THE FILL, AND ALL SUBSIDIARY WORK NECESSARY TO COMPLETE THE GRADING OF THE CUT AND FILL AREAS TO CONFORM WITH THE LINES, GRADES AND SLOPES AS SHOWN ON THE APPROVED PLANS.

SCARIFYING THE AREA TO BE FILLED

ALL ORGANIC MATTER SHALL BE REMOVED FROM THE SURFACE UPON WHICH THE FILL IS TO BE PLACED, AND SURFACE SHALL BE DISKED OR SCARIFIED TO A MINIMUM DEPTH OF SIX INCHES (6"), ALL SURFACE RUTS OR OTHER UNEVEN FEATURES WILL BE LEVELED PRIOR TO FIELD DENSITY TESTING.

COMPACTING THE AREA TO BE FILLED

FOLLOWING THE CLEARING AND DISKING OR SCARIFYING OF THE FILL AREA, IT SHALL BE BLADED UNTIL IT IS UNIFORM AND FREE FROM LARGE CLODS. THE AREA SHALL BE BROUGHT TO ADEQUATE MOISTURE CONTENT AND COMPACTED (TYPICALLY) TO NOT LESS THAN NINETY PERCENT (90%) OF MAXIMUM DENSITY IN ACCORDANCE WITH THE CURRENT ASTM D 1557 COMPACTION PROCEDURE, OR 95% OF MAXIMUM DENSITY IN ACCORDANCE WITH THE THD-TEX-113-E COMPACTION PROCEDURE. ALL AREAS EXCEEDING (6") SIX INCHES IN DEPTH, MUST MEET WITH FHWA/HUD HANDBOOK 4140.30 SPECIFICATIONS FOR LAND DEVELOPMENTS ON CONTROLLED EARTHWORK, DATASHEET 79G.

FILL MATERIALS

THE MATERIALS USED SHALL BE FREE FROM ORGANIC MATTER AND OTHER DELETERIOUS SUBSTANCES, SUCH AS TREES, BRUSH AND RUBBISH.

DEPTH AND MIXING OF FILL LAYERS

THE SELECTED FILL MATERIAL SHALL BE PLACED IN LEVEL, UNIFORM LAYERS WHICH, WHEN COMPACTED, SHALL HAVE A DENSITY CONFORMING TO THE STIPULATED ABOVE. EACH LAYER SHALL BE THOROUGHLY MIXED DURING THE SPREADING TO ENSURE UNIFORMITY OF MATERIAL IN EACH LAYER. COMPACTED LAYER THICKNESS MAY VARY DEPENDING ON THE COMPACTION EQUIPMENT OF THE DEMONSTRATED CAPABILITY.

ROCK

WHEN FILL MATERIAL INCLUDES ROCK, THE MAXIMUM ROCK SIZE SHALL BE AS APPROVED BY THE GEOTECHNICAL ENGINEER. NO LARGE ROCKS SHALL BE ALLOWED TO NEST AND ALL VOIDS MUST BE FILLED WITH SMALL STONES OR SOIL AND ADEQUATELY COMPACTED.

COMPACTION OF FILL LAYER

COMPACTION EQUIPMENT SHALL BE CAPABLE OF COMPACTING THE FILL TO THE SPECIFIED DENSITY. COMPACTION SHALL BE ACCOMPLISHED WHILE THE FILL MATERIAL IS AT OR NEAR THE APPROPRIATE MOISTURE CONTENT. COMPACTION OF EACH LAYER SHALL BE CONTINUOUS OVER THE ENTIRE STRUCTURAL AREA (BENEATH PROPOSED STRUCTURES).

COMPACTION OF SLOPES

THE FACES OF FILL SLOPES SHALL BE COMPACTED. COMPACTION OPERATIONS SHALL BE CONTINUED UNTIL THE SLOPE FACES ARE STABLE BUT NOT TO DENSE FOR PLANTING ON THE SLOPES. COMPACTION OF THE SLOPE FACE MAY BE DONE PROGRESSIVELY IN INCREMENTS OF THREE TO FIVE FEET (3' TO 5') IN FILL HEIGHT AS THIS FILL PROGRESSES OR AFTER THE FILL HAS BEEN BROUGHT TO ITS TOTAL HEIGHT.

DENSITY TEST

FIELD DENSITY TESTS SHALL BE PERFORMED ON ALL LAYERS OF FILL WHEN THE FILL IS BEING PLACED AS DIRECTED BY THE GEOTECHNICAL ENGINEER. THE MAXIMUM FILL HEIGHT BETWEEN DENSITY TESTING SHALL BE TWELVE INCHES (12"). ALL TESTING SHALL BE REQUESTED BY THE CONTRACTOR TO MEET THE CONTRACTOR'S CONSTRUCTION SCHEDULE. NOTIFICATION BY THE CONTRACTOR TO CONDUCT TESTS SHALL BE AT LEAST THE DAY BEFORE. THIS NOTIFICATION SHALL INCLUDE THE FILL AREA LOCATION (LOT AND BLOCK), THE LIFT OR HEIGHT OF FILL AND APPROXIMATED DESIRED TIME OF TESTING. WHEN THESE TEST INDICATE THAT THE DENSITY OF ANY LAYER OF FILL OR PORTION THEREOF IS BELOW THE REQUIRED DENSITY, THE PARTICULAR LAYER OR PORTION SHALL BE REWORKED AND RETESTED AT THE EXPENSE OF THE CONTRACTOR UNLESS THE CONTRACTOR CAN SHOW EVIDENCE THAT CIRCUMSTANCES BEYOND HIS CONTROL REQUIRED THE RETESTING. GENERALLY, THE SPECIFIC TESTING WILL BE AS FOLLOWS AND CONDUCTED BY A GEO-TECHNICAL ENGINEER OR STAFF.

- THE LAND TO BE FILLED (PREPARED SUBGRADE) SHALL BE PREPARED AND TESTED AT A FREQUENCY AS DETERMINED BY THE GEOTECHNICAL ENGINEER.
- THE FIRST LIFT OF COMPACTED FILL (GENERALLY 8-12 IN.) SHALL BE TESTED AS DETERMINED BY THE GEOTECHNICAL ENGINEER. ANY AREAS SUPPORTING THE PROPOSED STRUCTURES REQUIRING FILL SHALL BE TESTED FOR DENSITY COMPLIANCE.
- FILLS SHALL BE TESTED AT A MAXIMUM OF EACH TWELVE INCHES (12") OF FILL.
- TEST RESULTS WILL BE PROVIDED BY THE FIELD TECHNICIAN TO THE CONTRACTOR WHEN POSSIBLE; HOWEVER, ALL TEST RESULTS ARE TO BE REVIEWED BY THE GEOTECHNICAL ENGINEER FOR COMPLIANCE. THE ENGINEER WILL NOTIFY THE CONTRACTOR OF ALL TEST RESULTS.

CUT/FILL LOTS

AREAS INVOLVING CUT ON THE PORTION AND FILL ON ANOTHER PORTION OF A SPECIFIC LOT SHALL BE PREPARED TO A MINIMUM DEPTH OF 6 IN., AND WILL BE THE SAME MATERIAL CLASSIFICATION AT THE SAME COMPACTION AND MOISTURE CONTENT. FIELD DENSITY TESTS SHALL BE REQUIRED ON EACH CUT/FILL LOT FOR THE PURPOSE OF DETERMINING UNIFORMITY OF THE AREA SUPPORTING THE PROPOSED STRUCTURES.

HUD 79-G

HUD 79-G REQUIREMENT FOR FILL MATERIAL OF 6 INCHES AND MORE WILL BE CONDUCTED. ALL CUT AREAS WILL ALSO MEET THE REQUIREMENTS FOR HUD 79-G COMPACTION TESTING. IN ADDITION, ENGINEERS MUST PROVIDE VERIFICATION OF ALL AREAS WHICH DO NOT REQUIRE HUD 79-G. AFTER SITE GRADING IS COMPLETED, GEO-TECHNICAL ENGINEER SHALL PROVIDE THE CONTRACTOR AND OWNER A 79-G LETTER.

DRAINAGE NOTE

FINISHED FLOOR ELEVATIONS

THE ELEVATION OF THE LOWEST FLOOR SHALL BE AT LEAST 10 INCHES ABOVE THE FINISHED GRADE OF THE SURROUNDING GROUND, WHICH SHALL BE SLOPED IN A FASHION SO AS TO DIRECT STORMWATER AWAY FROM THE STRUCTURE. PROPERTIES ADJACENT TO STORMWATER CONVEYANCE STRUCTURES MUST HAVE FLOOR SLAB ELEVATION OR BOTTOM OF FLOOR JOISTS A MINIMUM OF ONE FOOT ABOVE THE 100-YEAR WATER FLOW ELEVATION IN THE STRUCTURE. DRIVEWAYS SERVING HOUSES ON THE DOWNHILL SIDE OF THE STREET SHALL HAVE A PROPERLY SIZED CROSS SWALE PREVENTING RUNOFF FROM ENTERING THE GARAGE.



08/07/2020

GRADING DETAILS

CLOUD COUNTRY
UNITS 6 & 8

NO.	REVISION	DESCRIPTION	REVISION DATE

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REVIEWED BY: CVH

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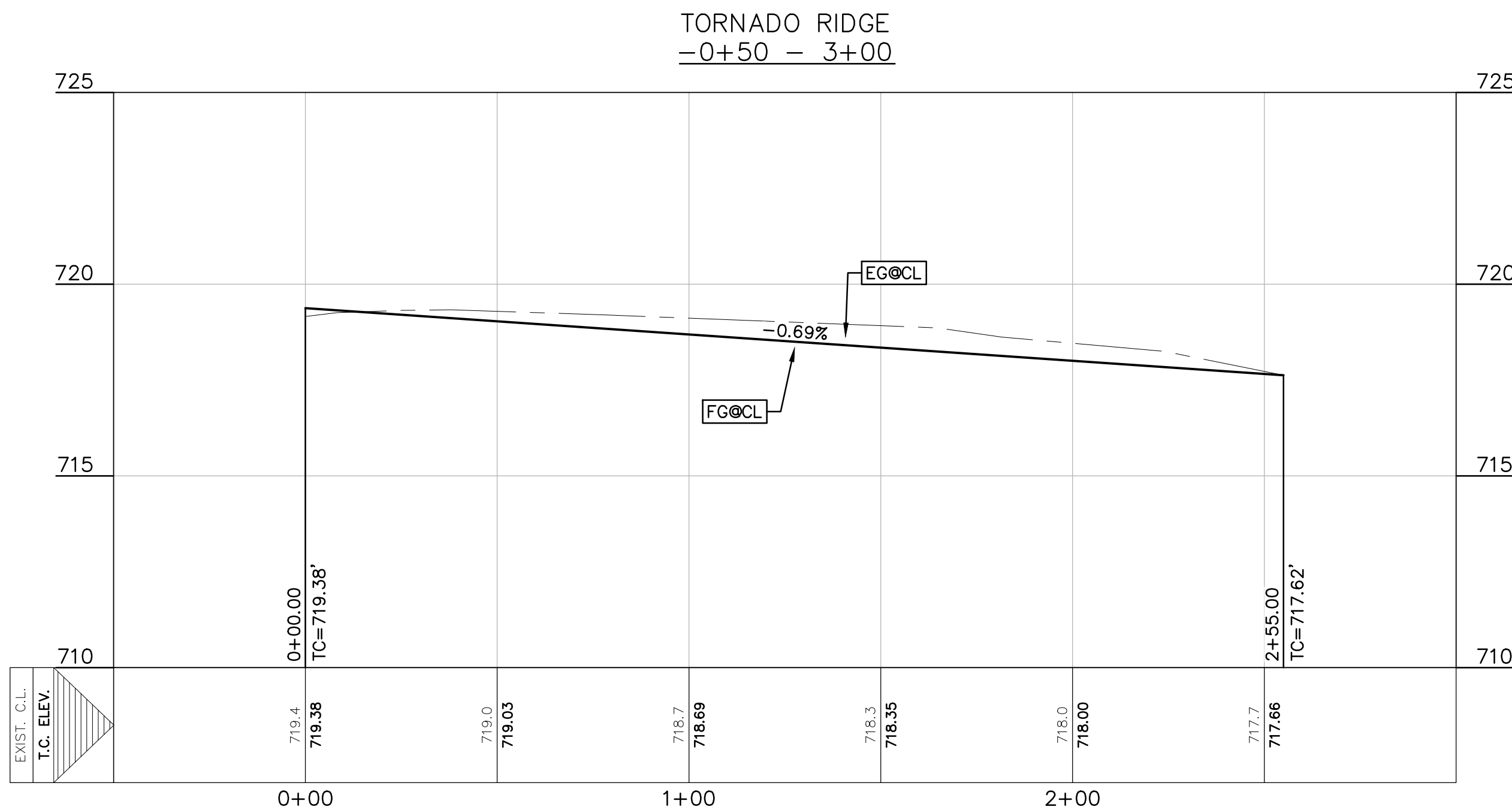
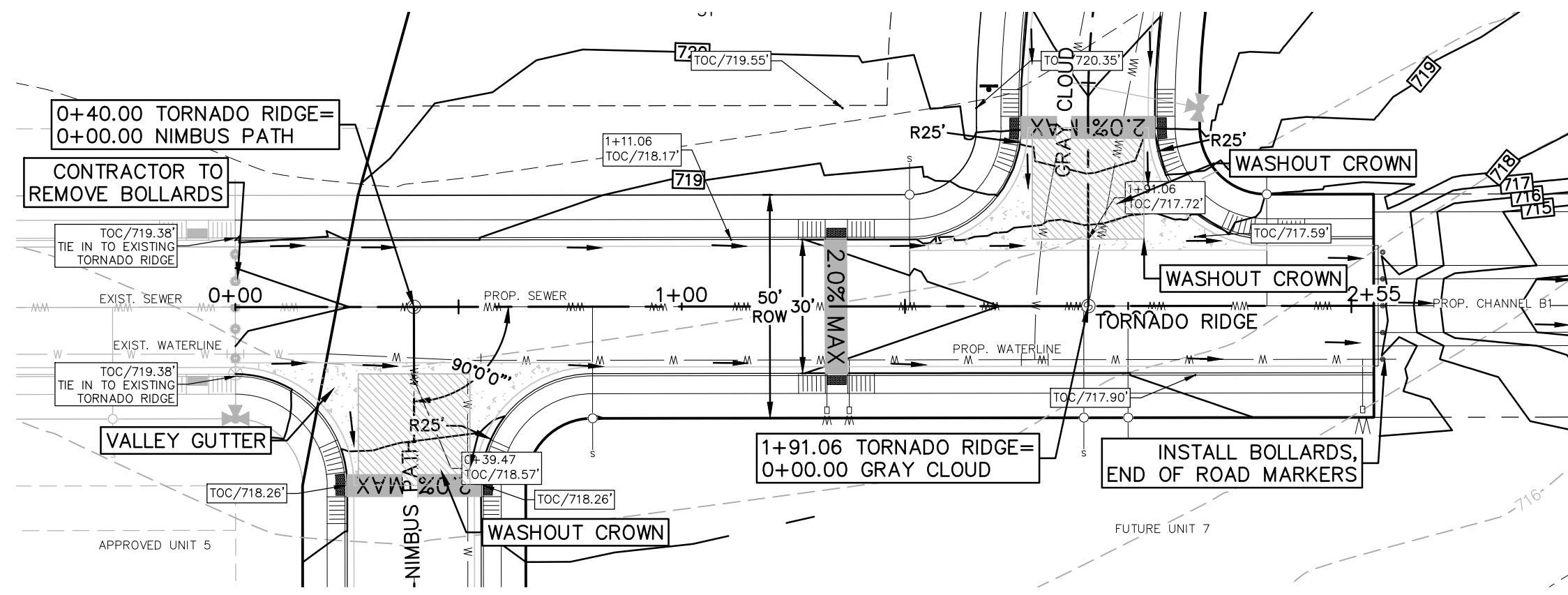
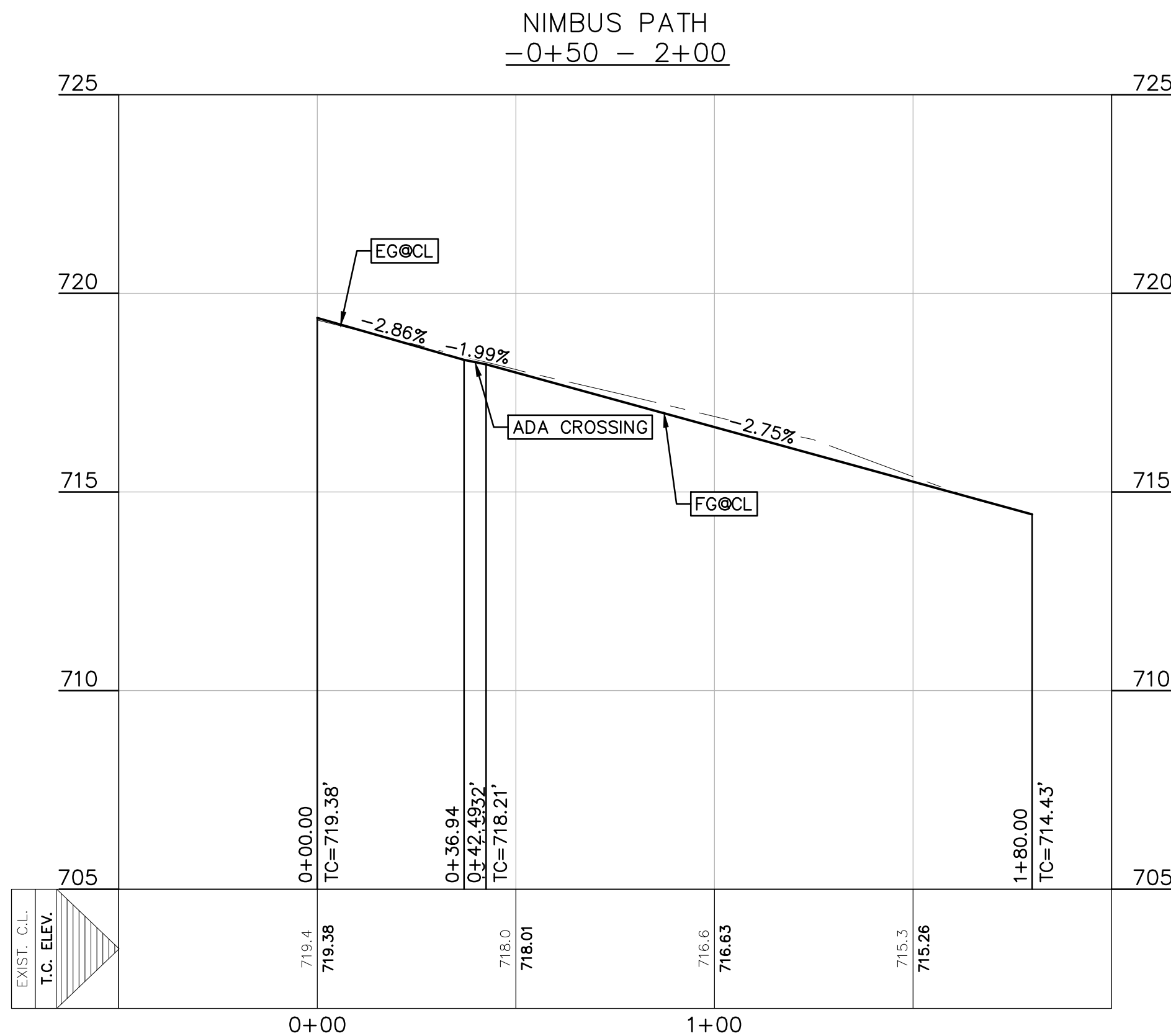
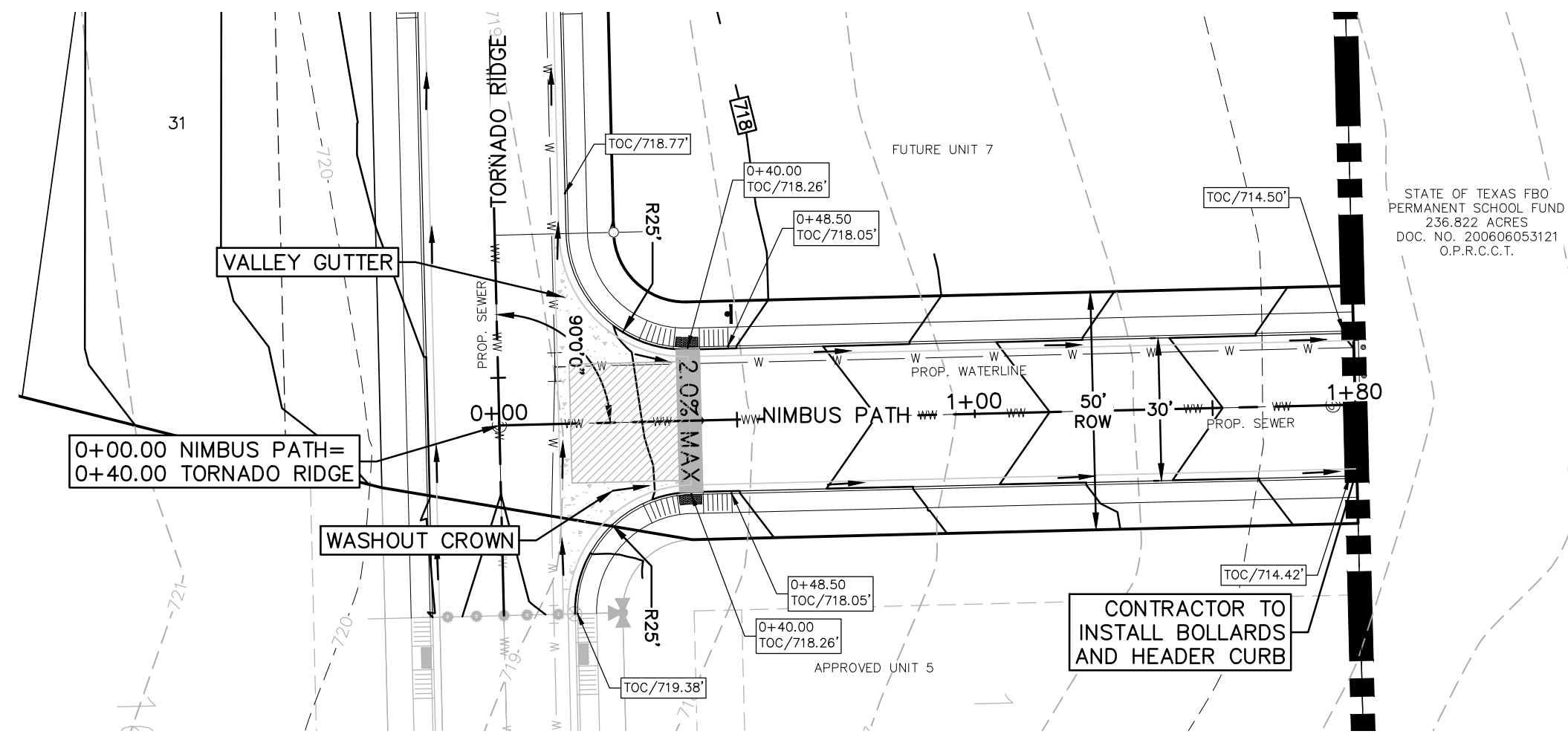
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SHEET

C5.02

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TBP FIRM F-10961
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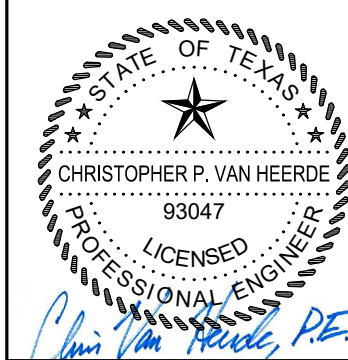


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- LEGEND**
- EXISTING CONTOURS
 - PROPOSED CONTOURS
 - B.L. BUILDING SETBACK LINE
 - U.E. UTILITY EASEMENT
 - D.E. DRAINAGE EASEMENT
 - A.D.A. RAMP
 - FLOW ARROW
 - WASHOUT CROWN AREAS
 - EXISTING GROUND LEFT (EG LT)
 - EXISTING GROUND RIGHT (EG RT)
 - EXISTING GROUND CENTER (EG CTR)
 - PROPOSED GROUND CENTER (PR TC)
 - ACCESSIBLE CROSSING AREA
CONTRACTOR TO ENSURE MAX 2%
CROSS SLOPE IN THESE AREAS
 - SIDEWALK RAMP TYPE
(SEE DETAIL SHEET C3.10)
 - SIDEWALK TO BE CONSTRUCTED
BY SITE DEVELOPMENT CONTRACTOR

- NOTES**
- STREETS WERE DESIGNED TO POSTED SPEED LIMIT OF 25 MPH.
 - IN WASHOUT CROWN AREAS, THE CURB ON THE HIGH SIDE OF THE STREET SHOULD BE SPILL CURB AS DESIGNATED ON THE PLANS.
 - CONTRACTOR TO CONSTRUCT SIDEWALK RAMPS WITH STREETS.
 - CONTRACTOR TO ENSURE POSITIVE DRAINAGE AWAY FROM STREET STUB OUT ENDS SO THAT NO "PONDING" OF WATER OCCURS.

290 S. CASTELL AVE., STE. 100
NEW BRAUNFELS, TX 78130
TBPE FIRM F-10961
TBPLS FIRM 1053600



NIMBUS PATH & TORNADO RIDGE
PLAN & PROFILE
CLOUD COUNTRY
UNITS 6 & 8

NO.	REVISION DESCRIPTION	REVISION DATE

DATE: JULY 2020

DRAWN BY: JMM

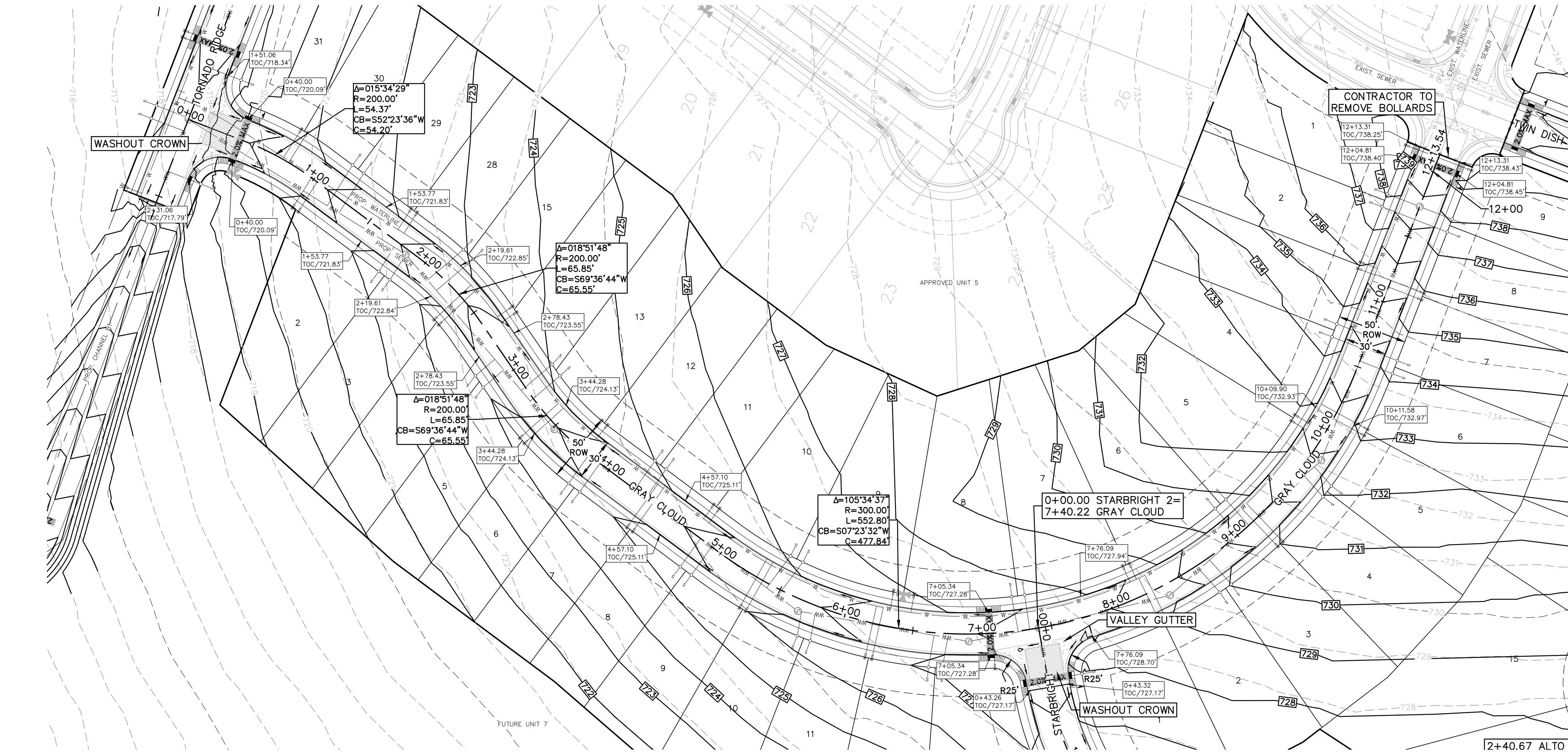
DESIGNED BY: JMM

REVIEWED BY: CVH

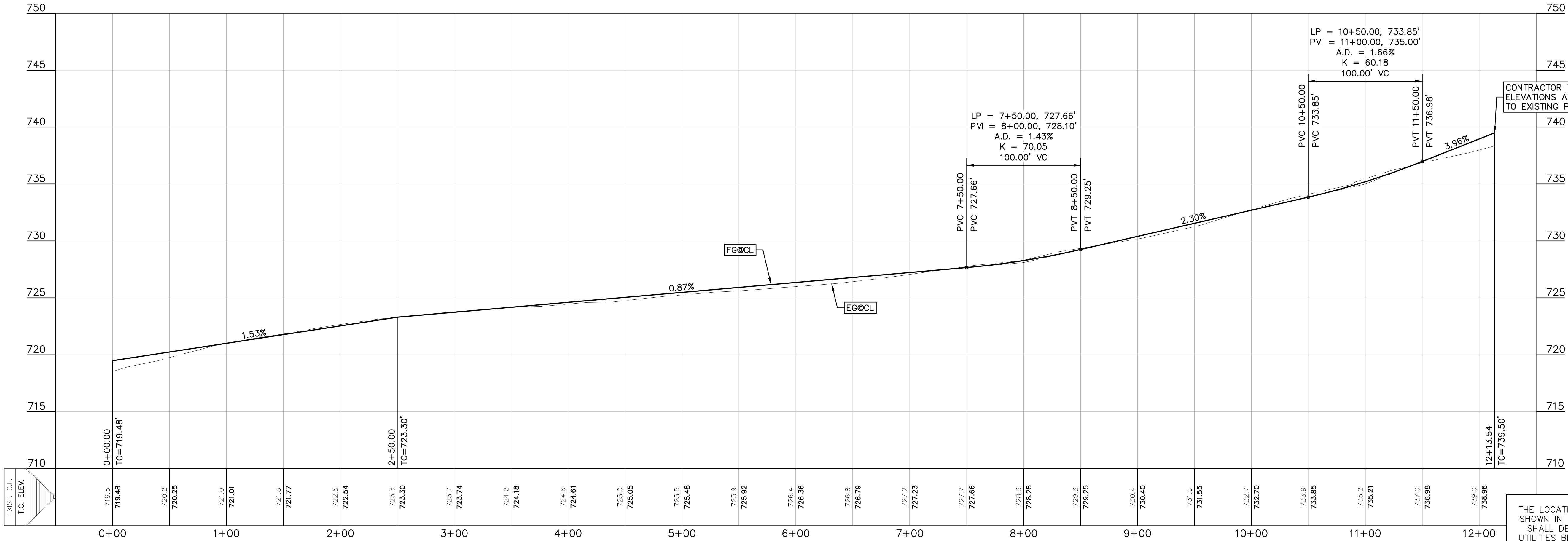
HMT PROJECT NO.:
056.018

SHEET
C6.00

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GRAY CLOUD
=0+50 = 12+50



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- EXISTING CONTOURS
 - PROPOSED CONTOURS
 - B.L. BUILDING SETBACK LINE
 - U.E. UTILITY EASEMENT
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 - A.D.A. RAMP
 - FLOW ARROW
 - WASHOUT CROWN AREAS
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 - ACCESSIBLE CROSSING AREA
CONTRACTOR TO ENSURE MAX 2%
CROSS SLOPE IN THESE AREAS
 - SIDEWALK RAMP TYPE
(SEE DETAIL SHEET C3.10)
 - SIDEWALK TO BE CONSTRUCTED
BY SITE DEVELOPMENT CONTRACTOR

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290 S. CASTELL AVE., STE. 100
NEW BRAUNFELS, TX 78130
TBPE FIRM F-10961
TBPLS FIRM 1053600



08/07/2020

**GRAY CLOUD
PLAN & PROFILE**
CLOUD COUNTRY
UNITS 6 & 8

NO.	REVISION	DESCRIPTION	REVISION DATE

DATE: JULY 2020

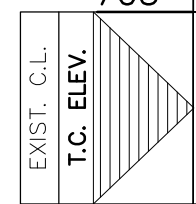
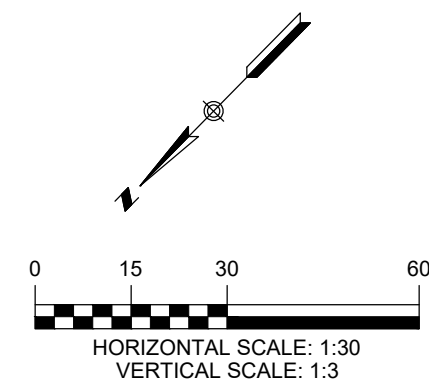
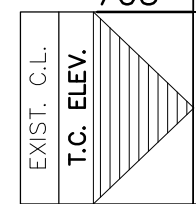
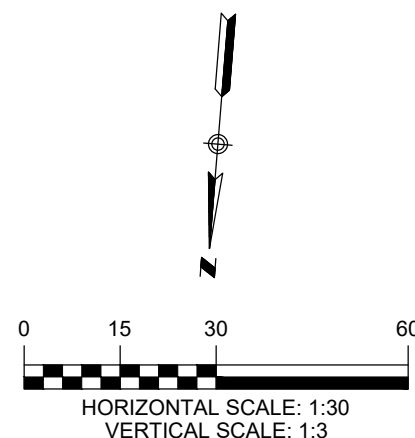
DRAWN BY: JMM















DESIGNED BY: JMM

REVIEWED BY: CVH

HMT PROJECT NO.:
056.018

SHEET
C6.01



- | | | |
|---|-------------|---|
|  | — 700 — | EXISTING CONTOURS |
|  | 700 | PROPOSED CONTOURS |
|  | B.L. | BUILDING SETBACK LINE |
|  | U.E. | UTILITY EASEMENT |
|  | D.E. | DRAINAGE EASEMENT |
|  | A.D.A. RAMP | |
|  | → | FLOW ARROW |
|  | | WASHOUT CROWN AREAS |
|  | | EXISTING GROUND LEFT (EG LT) |
|  | | EXISTING GROUND RIGHT (EG RT) |
|  | | EXISTING GROUND CENTER (EG CTR) |
|  | | PROPOSED GROUND CENTER (PR CTR) |
|  | 2.0% MAX | ACCESSIBLE CROSSING AREA
CONTRACTOR TO ENSURE MAX 2%
CROSS SLOPE IN THESE AREAS |
| | | SIDEWALK RAMP TYPE
(SEE DETAIL SHEET C.3.10) |
|  | | SIDEWALK TO BE CONSTRUCTED
BY SITE DEVELOPMENT CONTRACTOR |

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4. CONTRACTOR TO ENSURE POSITIVE DRAINAGE AWAY FROM STREET STUB OUT ENDS SO THAT NO "PONDING" OF WATER OCCURS.

STATE OF TEXAS
CHRISTOPHER P. VAN HERDE
93047
LICENSED
PROFESSIONAL ENGINEER

Chris Van Heerde, P.E.

STARBRIGHT 1 AND 2 PLAN & PROFILE

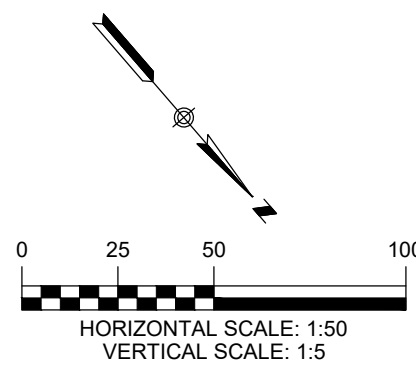
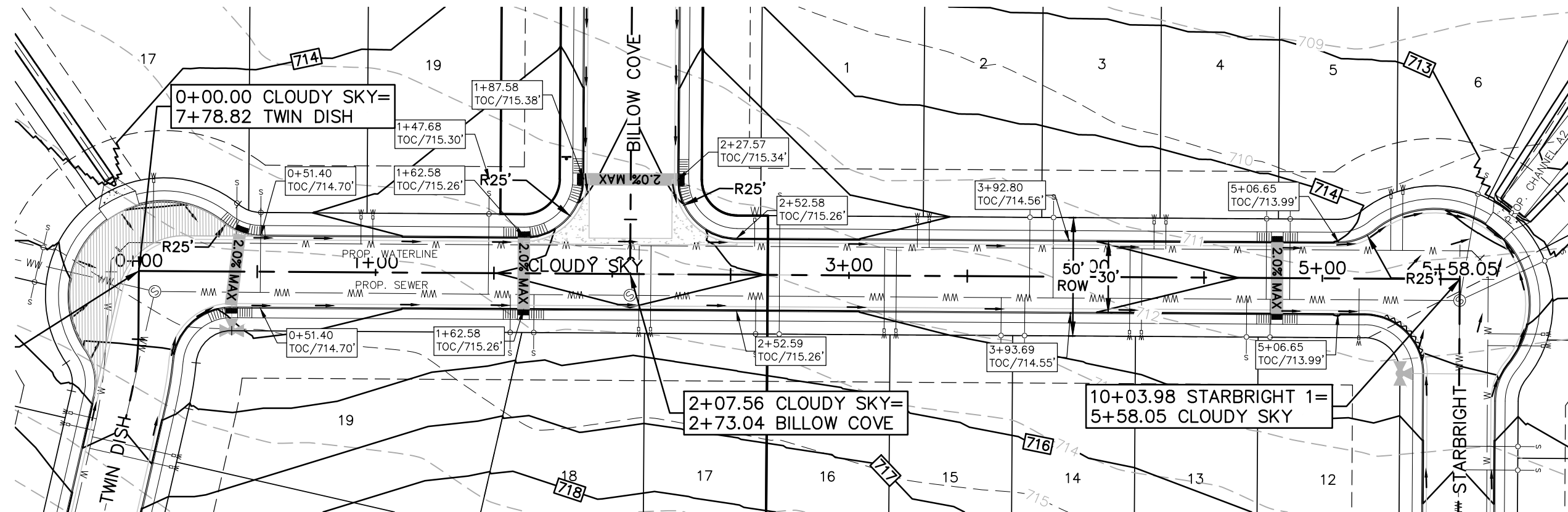
CLOUD COUNTRY UNITS 6 & 8

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HMT PROJECT NO.:
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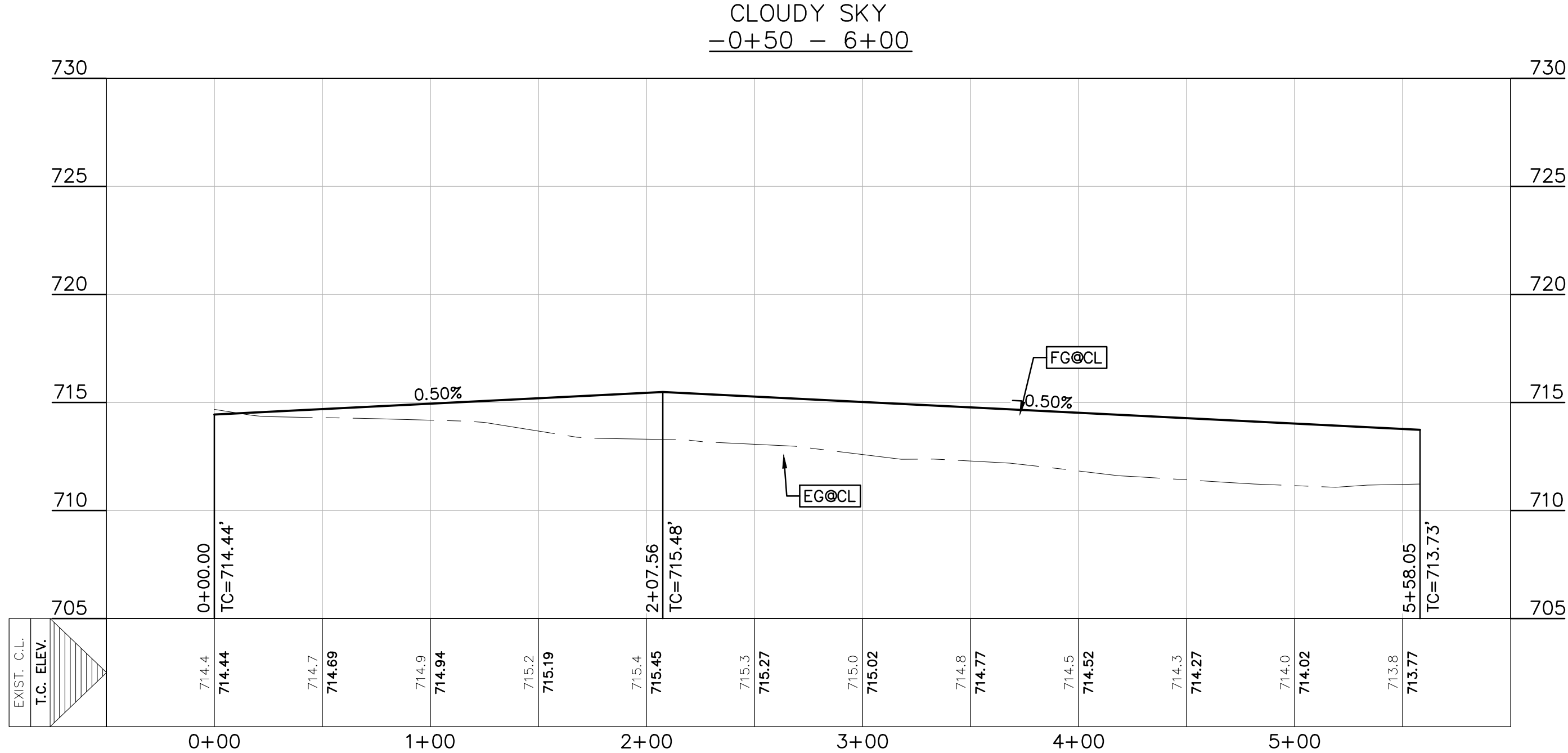
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 - PROPOSED CONTOURS
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 - D.E. DRAINAGE EASEMENT
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 - FLOW ARROW
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 - PROPOSED GROUND CENTER (PR TC)
 - ACCESSIBLE CROSSING AREA
CONTRACTOR TO ENSURE MAX 2%
CROSS SLOPE IN THESE AREAS
 - 2.0% MAX
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(SEE DETAIL SHEET C3.10)
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290 S. CASTELL AVE., STE. 100
NEW BRAUNFELS, TX 78130
TBPE FIRM F-10961
TBPLS FIRM 1053600



08/07/2020

CLOUDY SKY PLAN &
PROFILE
CLOUD COUNTRY
UNITS 6 & 8

NO.	REVISION DESCRIPTION	REVISION DATE

DATE: AUGUST 2020

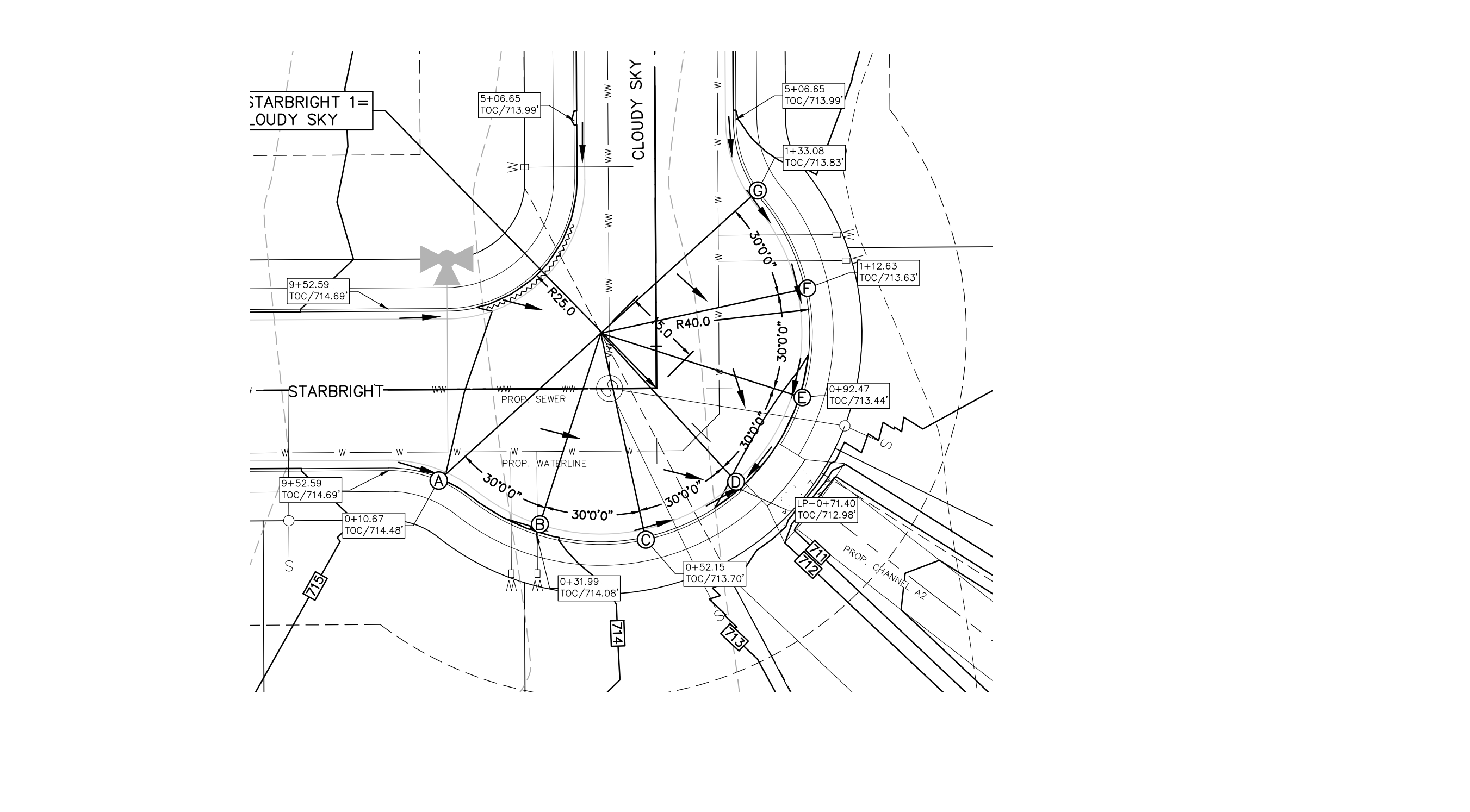
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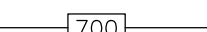
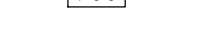
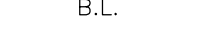
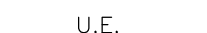



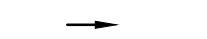







DESIGNED BY: JMM






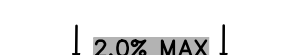






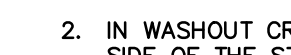


REVIEWED BY: CVH

HMT PROJECT NO.:
056.018


SHEET
C6.03




- | | |
|---|---|
|  | EXISTING CONTOURS |
|  | PROPOSED CONTOURS |
|  | BUILDING SETBACK LINE |
|  | UTILITY EASEMENT |
|  | DRAINAGE EASEMENT |
|  | A.D.A. RAMP |
|  | FLOW ARROW |
|  | WASHOUT CROWN AREAS |
|  | EXISTING GROUND LEFT (EG LT) |
|  | EXISTING GROUND RIGHT (EG RT) |
|  | EXISTING GROUND CENTER (EG CTR) |
|  | PROPOSED GROUND CENTER (PR CTR) |
|  | ACCESSIBLE CROSSING AREA
CONTRACTOR TO ENSURE MAX 2%
CROSS SLOPE IN THESE AREAS |
|  | SIDEWALK RAMP TYPE
(SEE DETAIL SHEET C3.10) |
|  | SIDEWALK TO BE CONSTRUCTED
BY SITE DEVELOPMENT CONTRACTOR |

	EXISTING CONTOURS
	PROPOSED CONTOURS
	B.L. BUILDING SETBACK LINE
	U.E. UTILITY EASEMENT
	D.E. DRAINAGE EASEMENT
	A.D.A. RAMP
	FLOW ARROW
	WASHOUT CROWN AREAS
	EXISTING GROUND LEFT (EG LT)
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	EXISTING GROUND CENTER (EG CTR)
	PROPOSED GROUND CENTER (PR TC)
	ACCESSIBLE CROSSING AREA CONTRACTOR TO ENSURE MAX 2% CROSS SLOPE IN THESE AREAS
	SIDEWALK RAMP TYPE (SEE DETAIL SHEET C3.10)
	SIDEWALK TO BE CONSTRUCTED BY SITE DEVELOPMENT CONTRACTOR

290 S. CASTELL AVE., STE. 100
NEW BRAUNFELS, TX 78130
TBPE FIRM F-10961
TBPLS FIRM 1053600



HMT
ENGINEERING & SURVEYING



Chris Van Heerde, P.E.

08/07/2020

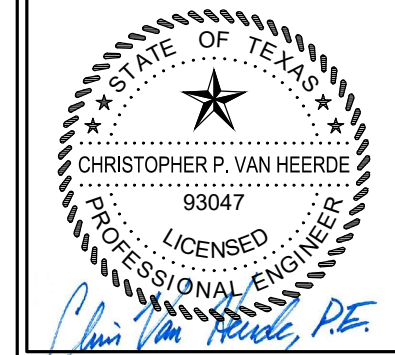
CLOUDY SKY KNUCKLE
PLAN & PROFILE

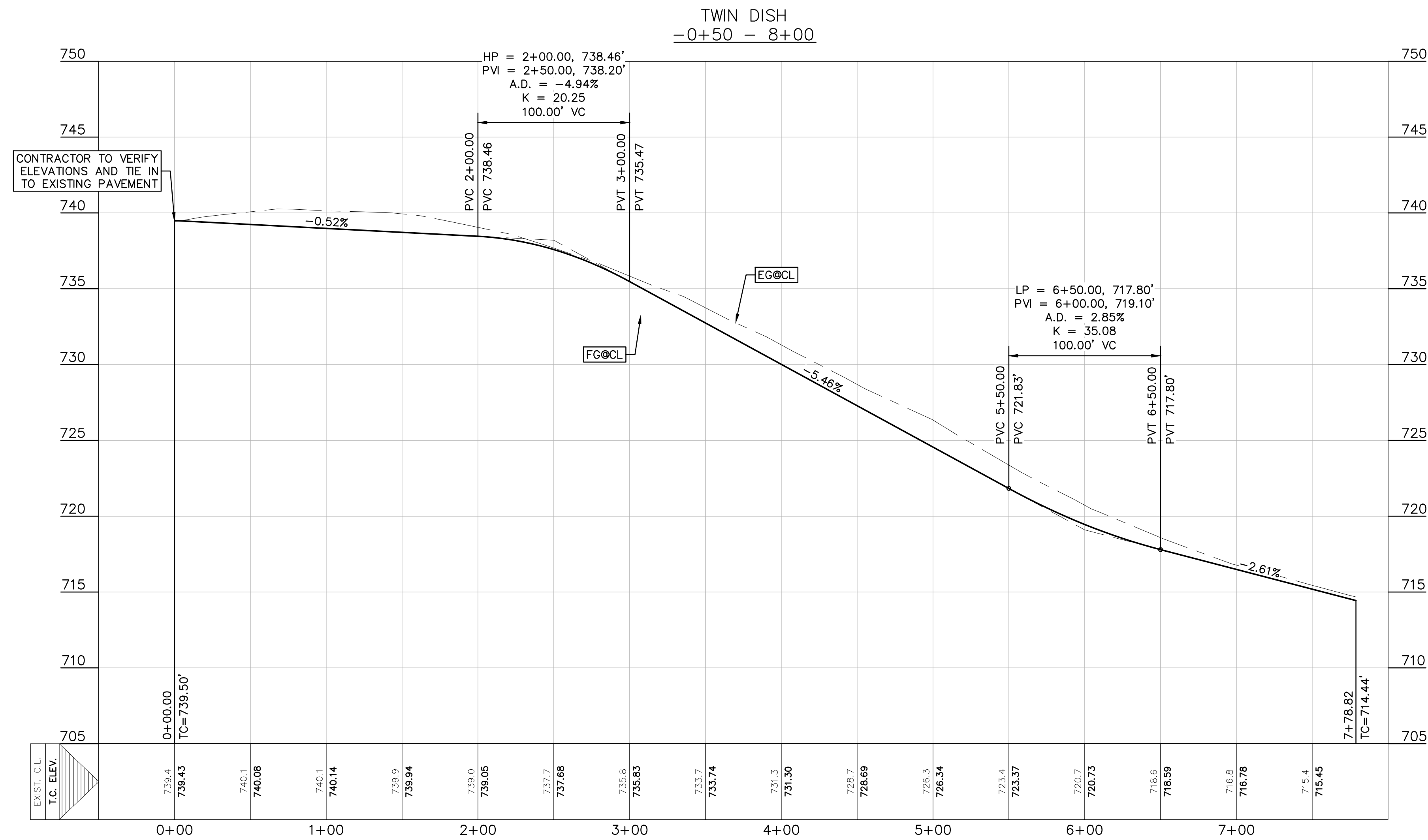
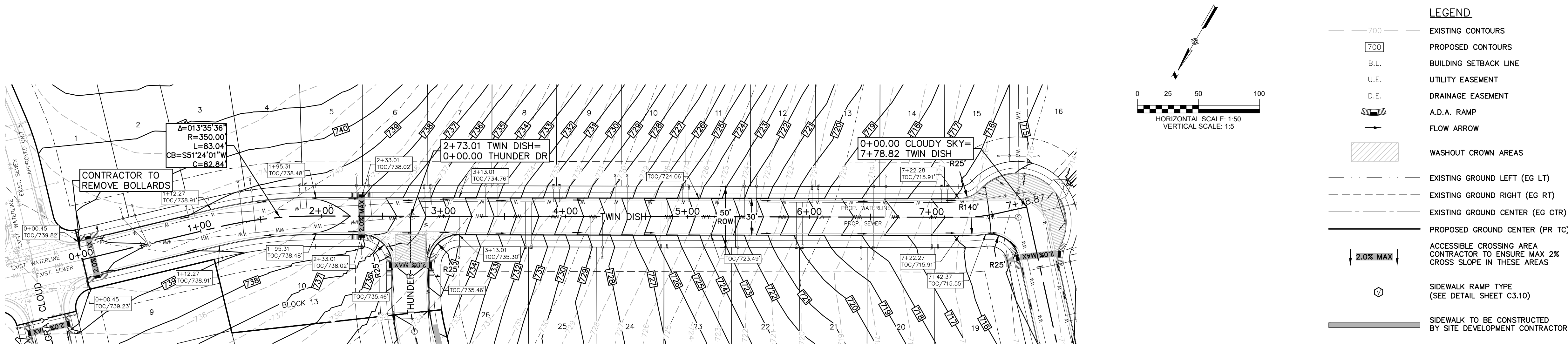
CLOUD COUNTRY
UNITS 6 & 8

C6.04



HMT
ENGINEERING & SURVEYING





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290 S. CASTELL AVE., STE. 100
NEW BRAUNFELS, TX 78130
TBPE FIRM F-10961
TBPLS FIRM 1053600

HMT
ENGINEERING & SURVEYING

STATE OF TEXAS
CHRISTOPHER P. VAN HEERDE
93047
LICENSED PROFESSIONAL ENGINEER

08/07/2020

**TWIN DISH PLAN &
PROFILE**
CLOUD COUNTRY
UNITS 6 & 8

NO.	REVISION DESCRIPTION	REVISION DATE

DATE: **AUGUST 2020**

DRAWN BY: **JMM**

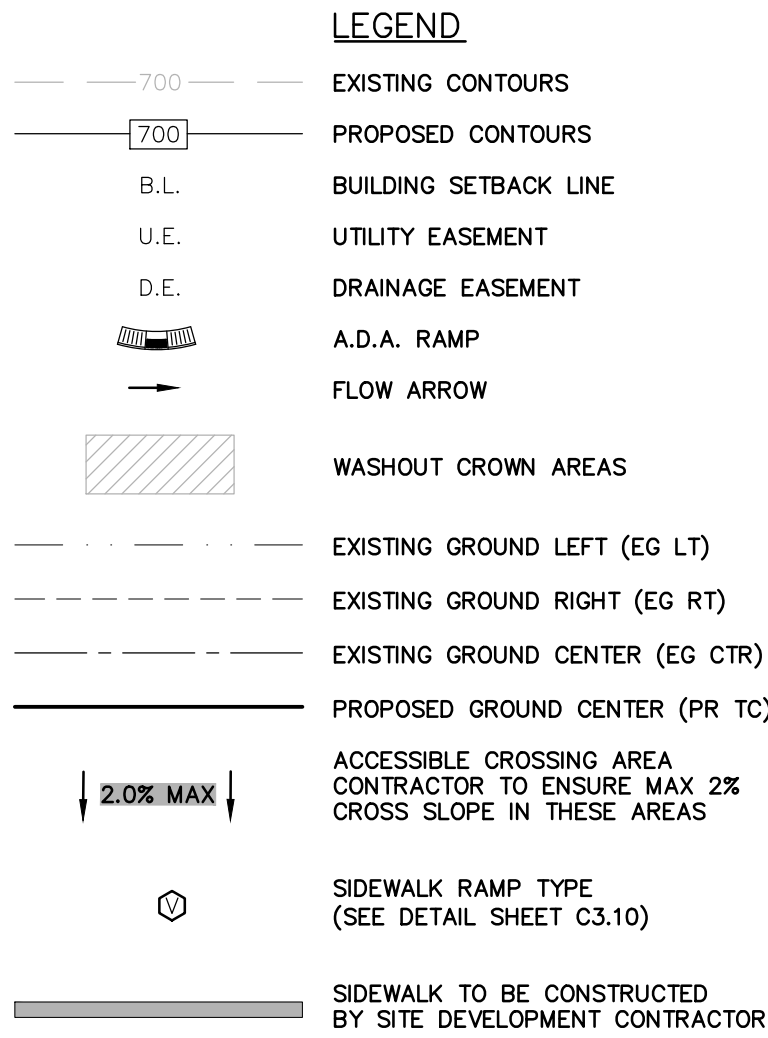
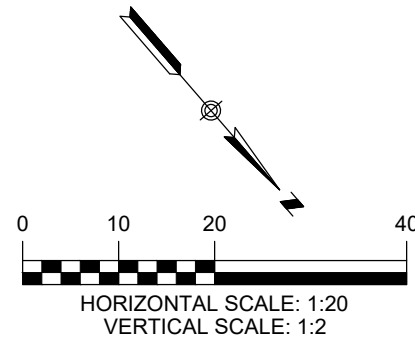
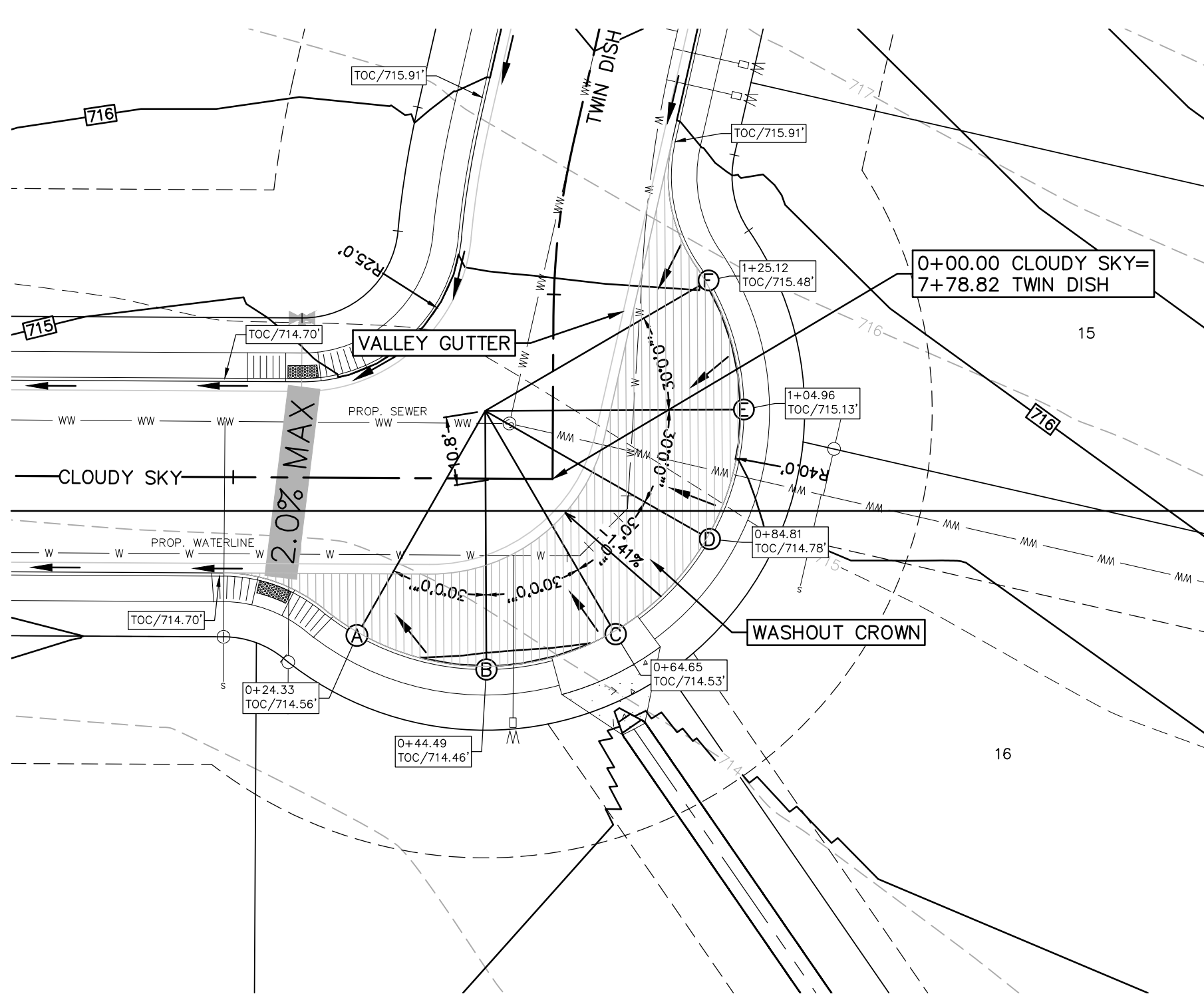
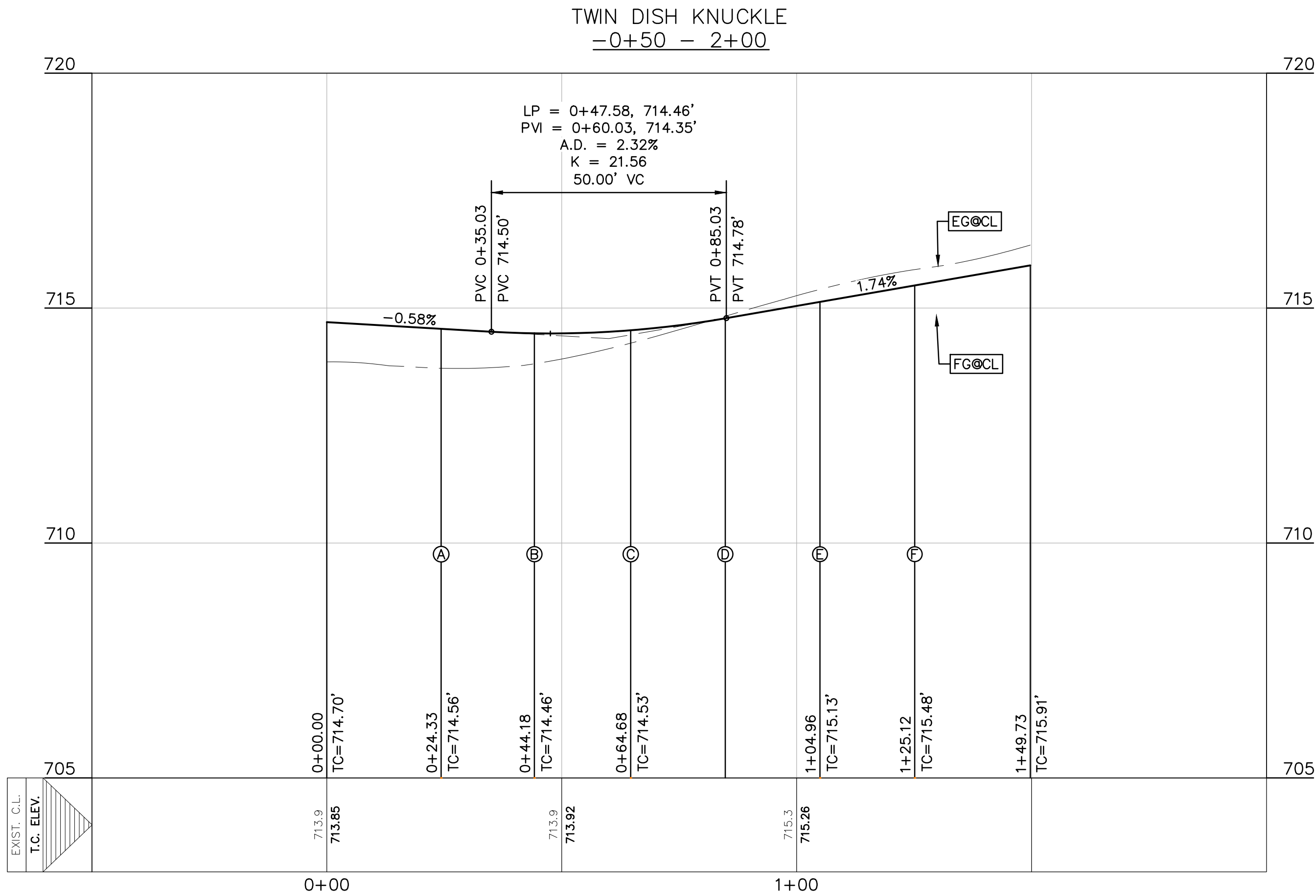
DESIGNED BY: **JMM**

REVIEWED BY: **CVH**

HMT PROJECT NO.:
056.018

SHEET

C6.05



NOTES

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290 S. CASTELL AVE., STE. 100
NEW BRAUNFELS, TX 78130
TBPE FIRM F-10961
TBPLS FIRM 1053600



08/07/2020

TWIN DISH KNUCKLE
PLAN & PROFILE
CLOUD COUNTRY
UNITS 6 & 8

NO.	REVISION DESCRIPTION	REVISION DATE

DATE: AUGUST 2020

DRAWN BY: JMM

DESIGNED BY: JMM

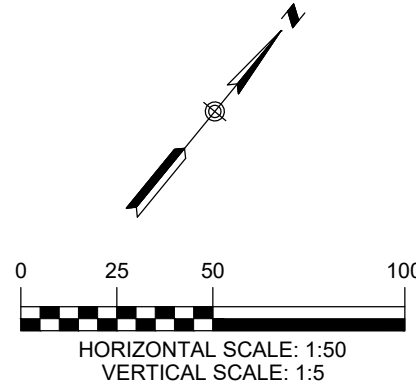
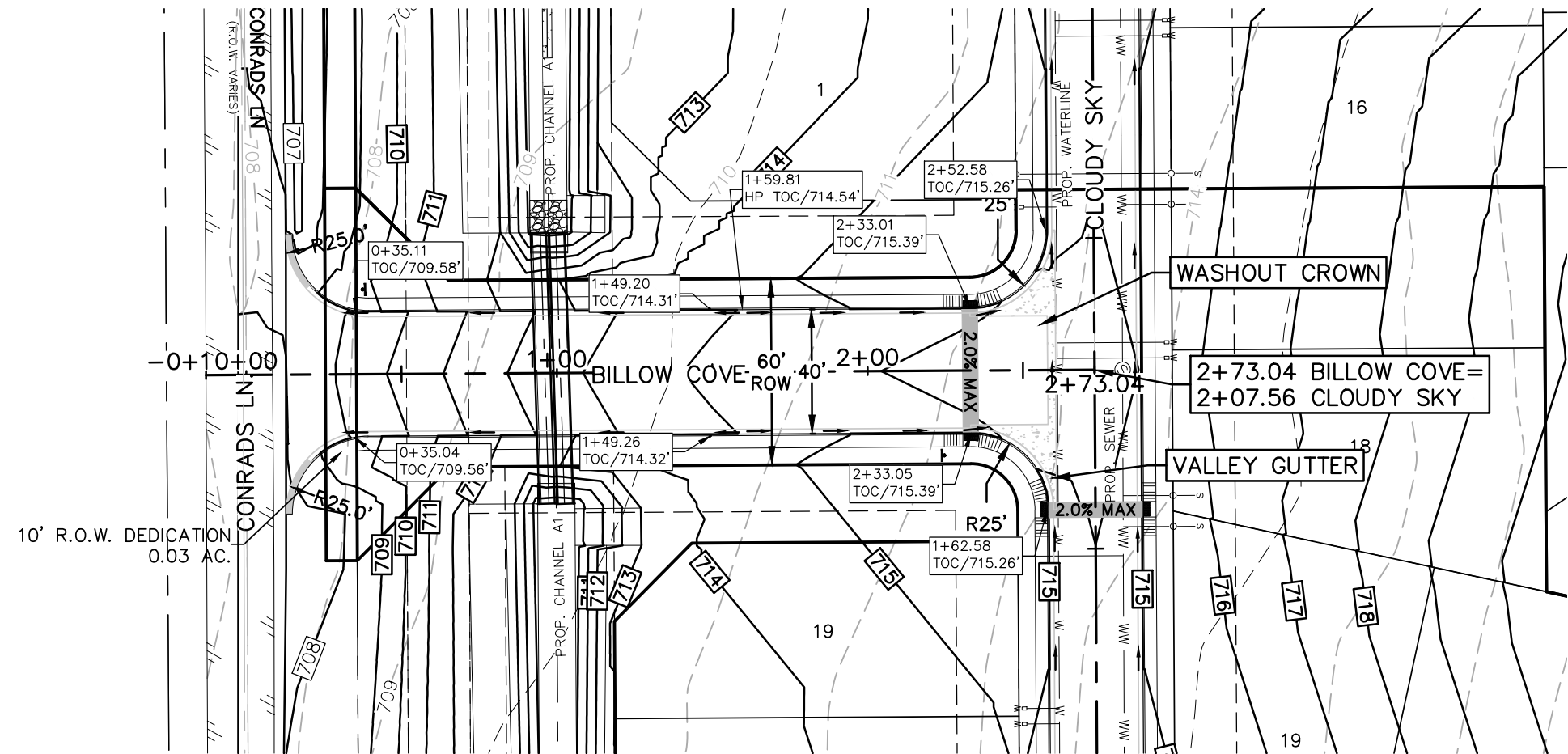
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HMT PROJECT NO.:
056.018

SHEET

C6.06

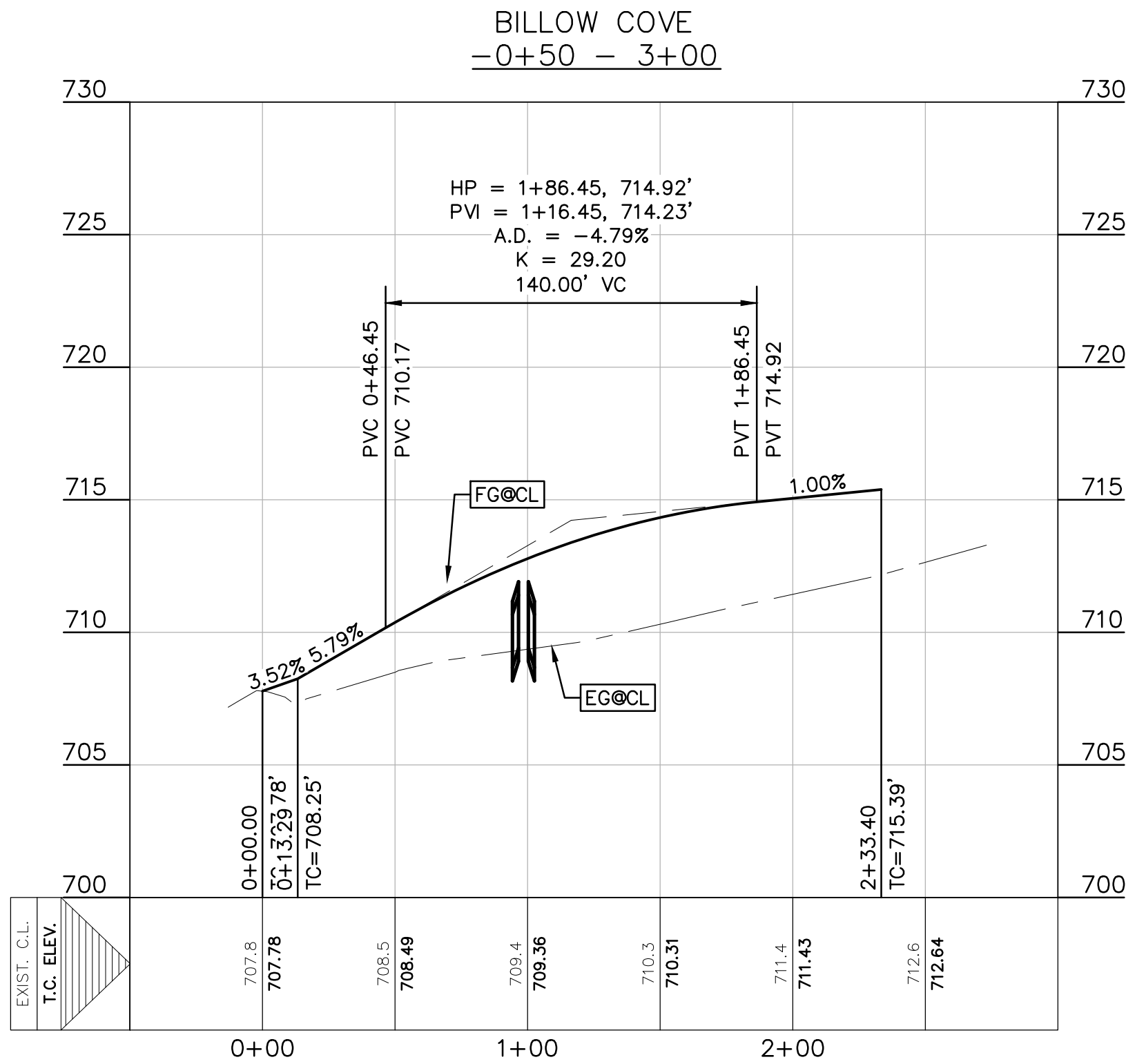
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 - D.E. DRAINAGE EASEMENT
 - A.D.A. RAMP
 - FLOW ARROW
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 - EXISTING GROUND LEFT (EG LT)
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 - ACCESSIBLE CROSSING AREA
CONTRACTOR TO ENSURE MAX 2%
CROSS SLOPE IN THESE AREAS
 - SIDEWALK RAMP TYPE
(SEE DETAIL SHEET C3.10)
 - SIDEWALK TO BE CONSTRUCTED
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290 S. CASTELL AVE., STE. 100
NEW BRAUNFELS, TX 78130
TBPE FIRM F-10961
TBPLS FIRM 1053600



08/07/2020

**BILLOW COVE PLAN &
PROFILE**
CLOUD COUNTRY
UNITS 6 & 8

NO.	REVISION DESCRIPTION	REVISION DATE

DATE: AUGUST 2020

DRAWN BY: JMM

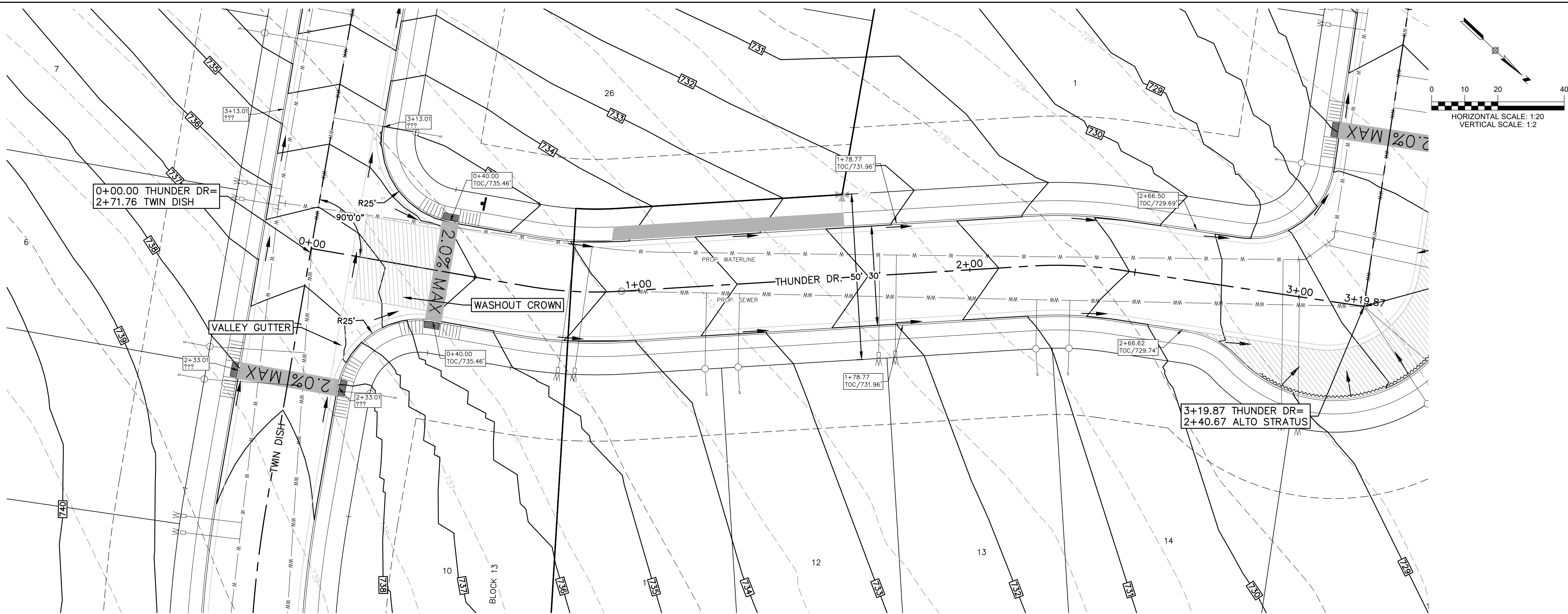
DESIGNED BY: JMM

REVIEWED BY: CVH

HMT PROJECT NO.:
056.018

SHEET
C6.07

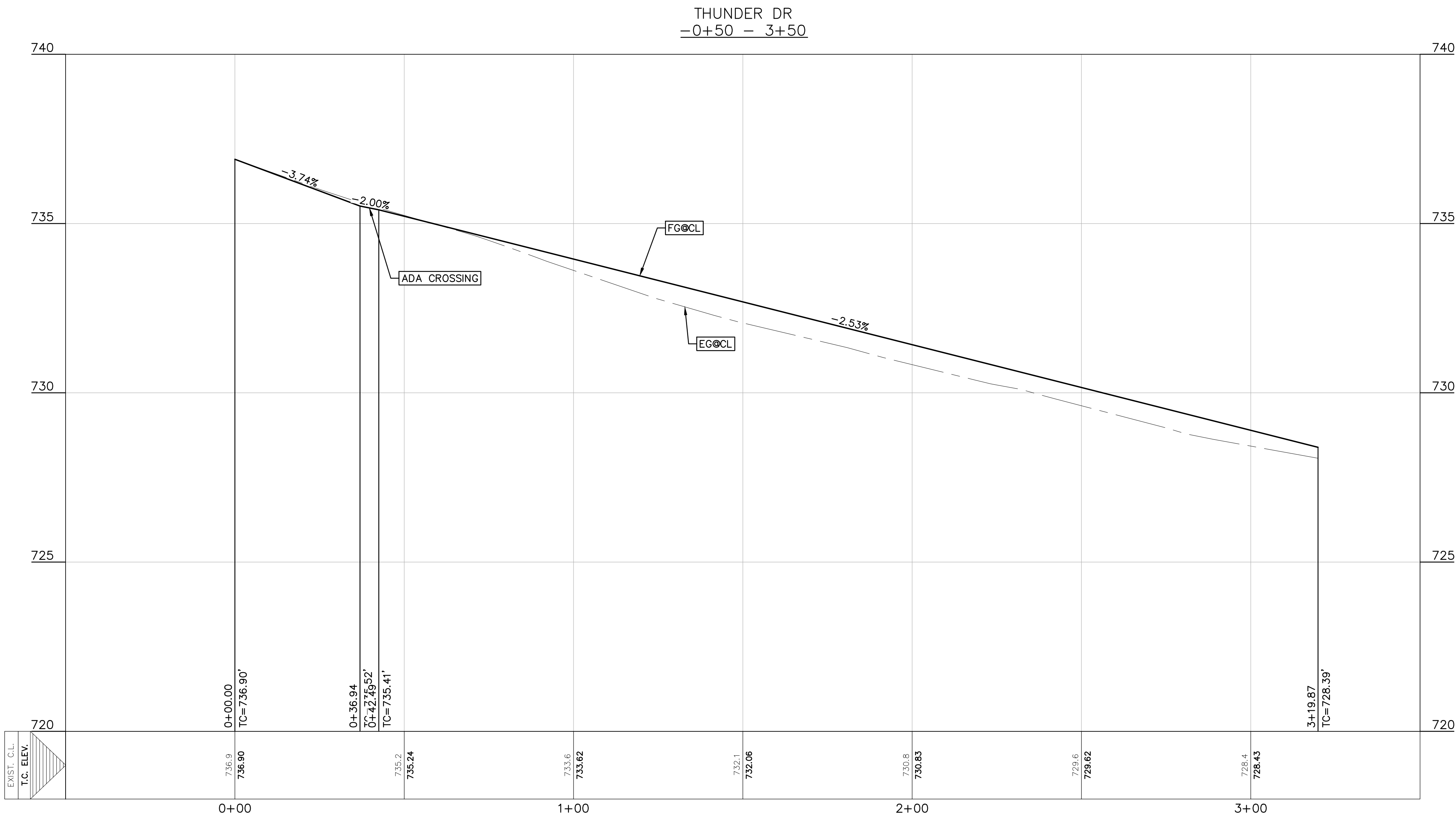
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- LEGEND**
- EXISTING CONTOURS
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290 S. CASTELL AVE., STE. 100
NEW BRAUNFELS, TX 78130
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TBPLS FIRM 1053600

HMT
ENGINEERING & SURVEYING

STATE OF TEXAS
CHRISTOPHER P. VAN HEERDE
93047
LICENSED PROFESSIONAL ENGINEER

08/07/2020

THUNDER DRIVE PLAN & PROFILE
CLOUD COUNTRY
UNITS 6 & 8

NO.	REVISION DESCRIPTION	REVISION DATE

DATE: **AUGUST 2020**

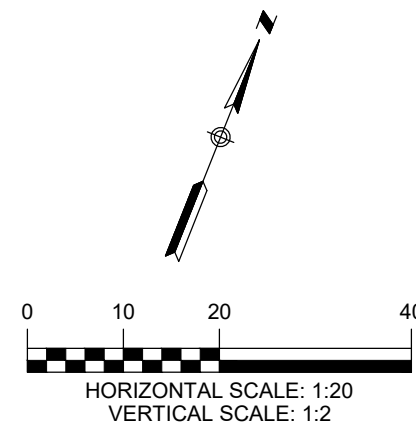
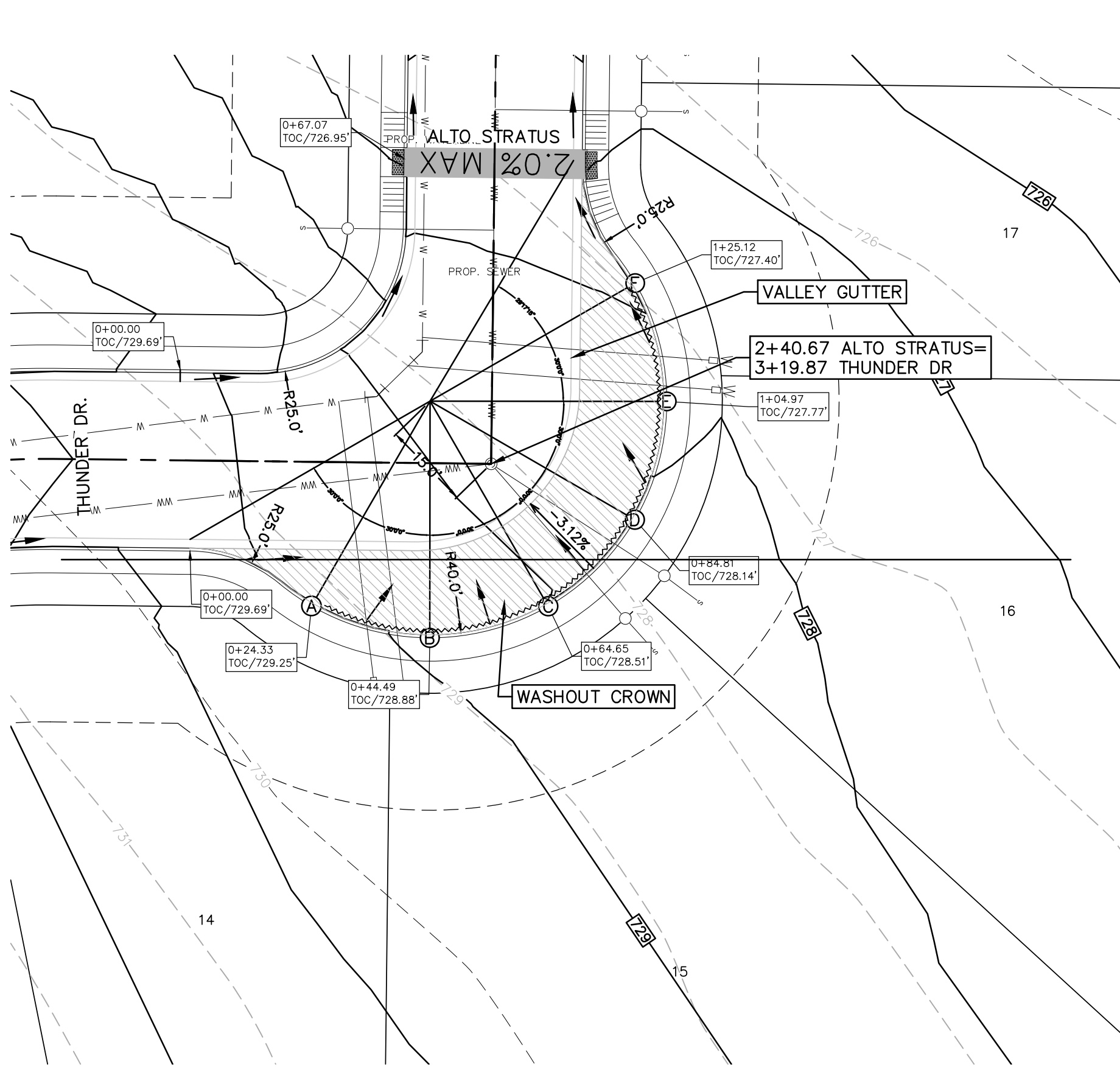
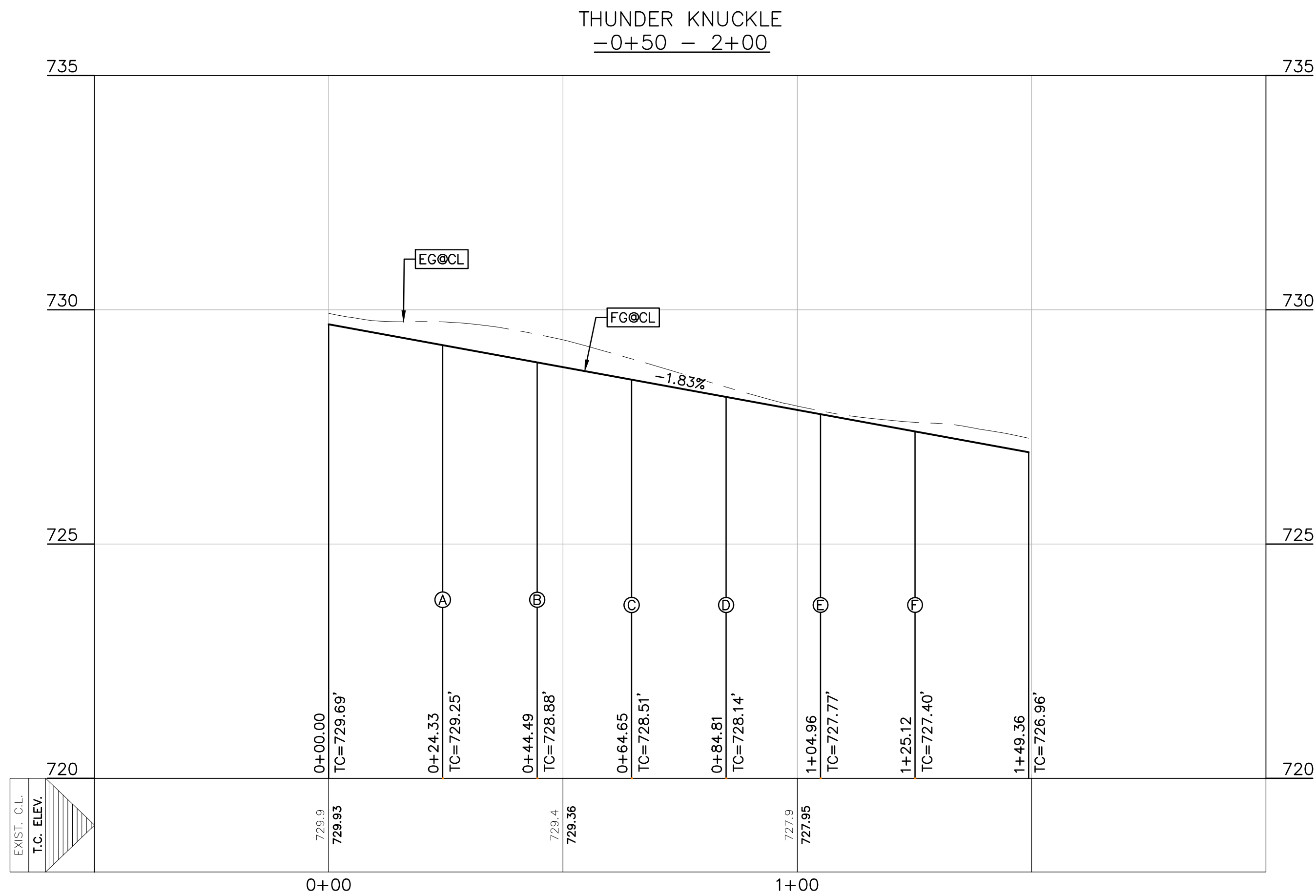
DRAWN BY: **JMM**

DESIGNED BY: **JMM**

REVIEWED BY: **CVH**

HMT PROJECT NO.: **056.018**

SHEET
C6.08



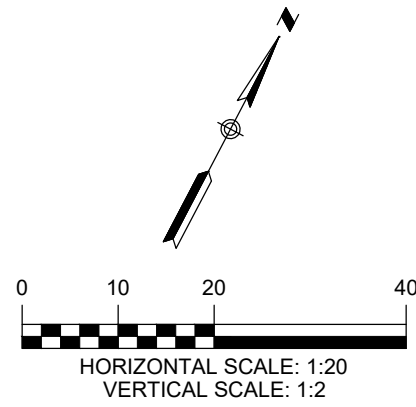
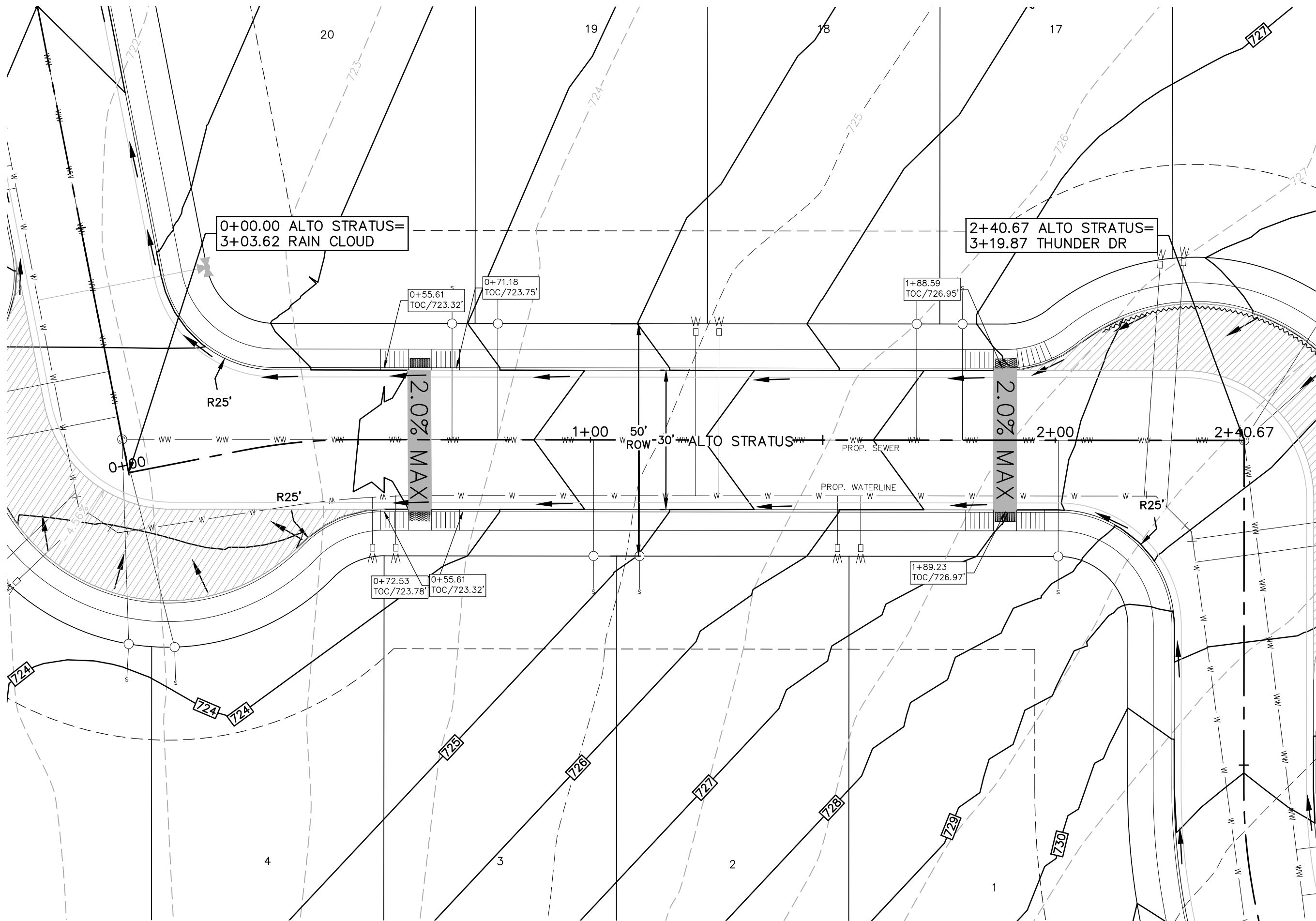
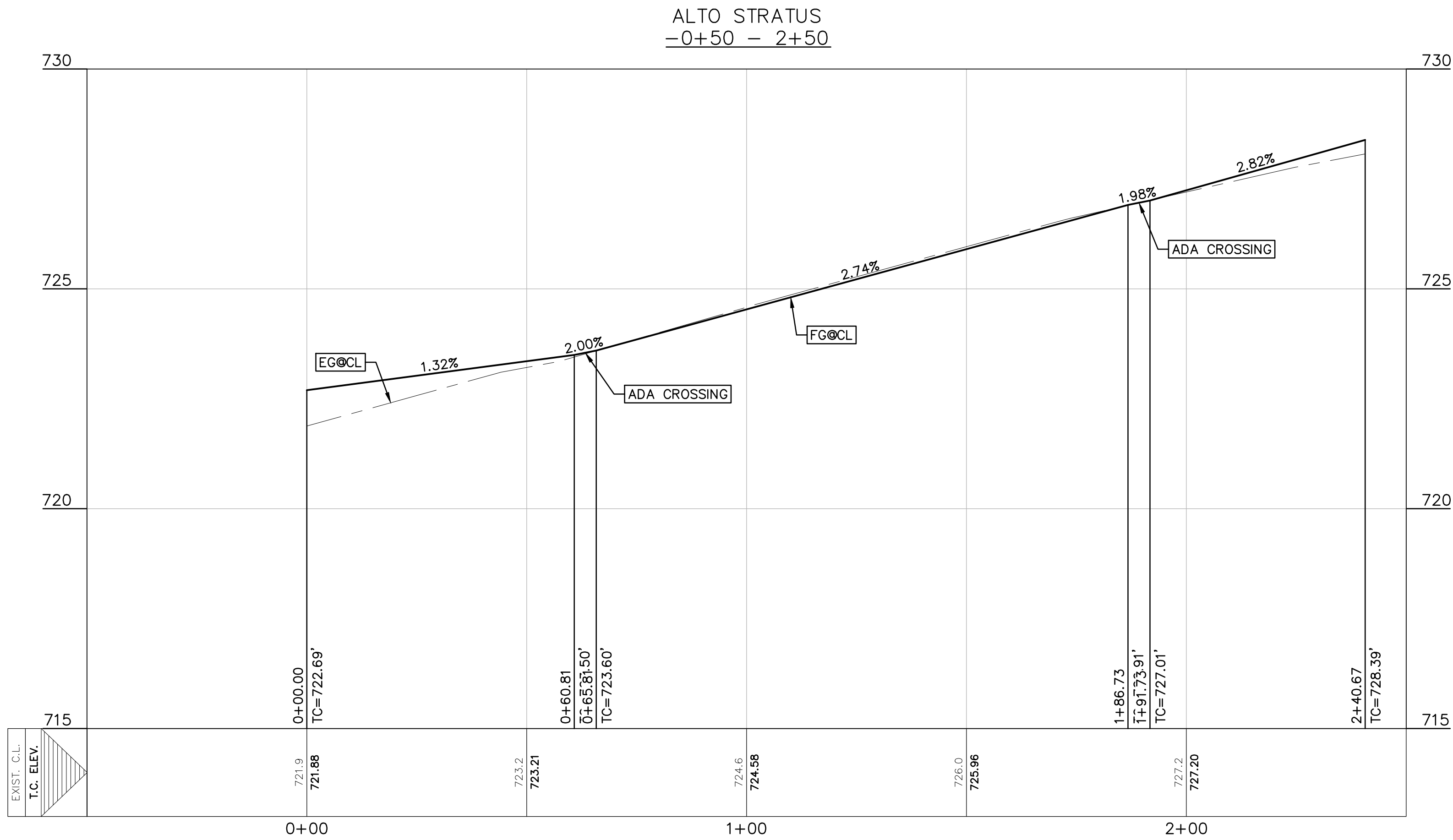
- LEGEND**
- EXISTING CONTOURS
 - PROPOSED CONTOURS
 - B.L. BUILDING SETBACK LINE
 - U.E. UTILITY EASEMENT
 - D.E. DRAINAGE EASEMENT
 - A.D.A. RAMP
 - FLOW ARROW
 - WASHOUT CROWN AREAS
 - EXISTING GROUND LEFT (EG LT)
 - EXISTING GROUND RIGHT (EG RT)
 - EXISTING GROUND CENTER (EG CTR)
 - PROPOSED GROUND CENTER (PR TC)
 - ACCESSIBLE CROSSING AREA
CONTRACTOR TO ENSURE MAX 2%
CROSS SLOPE IN THESE AREAS
 - SIDEWALK RAMP TYPE
(SEE DETAIL SHEET C3.10)
 - SIDEWALK TO BE CONSTRUCTED
BY SITE DEVELOPMENT CONTRACTOR

- NOTES**
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 - CONTRACTOR TO CONSTRUCT SIDEWALK RAMPS WITH STREETS.
 - CONTRACTOR TO ENSURE POSITIVE DRAINAGE AWAY FROM STREET STUB OUT ENDS SO THAT NO "PONDING" OF WATER OCCURS.

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NO.	REVISION DESCRIPTION	REVISION DATE

Drawing Name: N:_Projects\056 - Milestone Properties\056.018 - Cloud Country Unit E\056.018_STRI.dwg User: jolmm Aug 07, 2020 - 12:12pm



- LEGEND**
- EXISTING CONTOURS
 - PROPOSED CONTOURS
 - B.L. BUILDING SETBACK LINE
 - U.E. UTILITY EASEMENT
 - D.E. DRAINAGE EASEMENT
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 - 2.0% MAX
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08/07/2020

**ALTO STRATUS PLAN &
PROFILE
CLOUD COUNTRY
UNITS 6 & 8**

NO.	REVISION DESCRIPTION	REVISION DATE

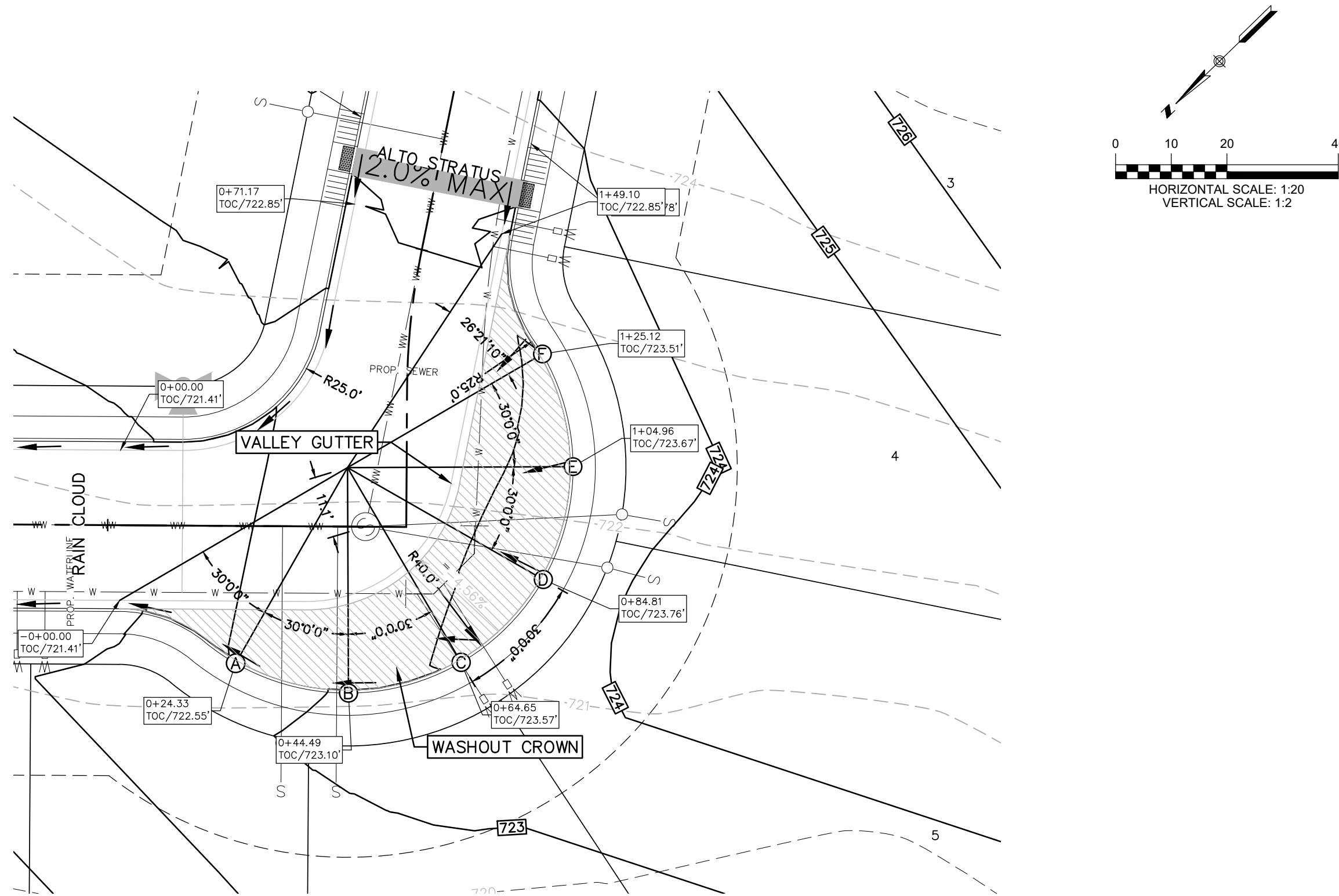
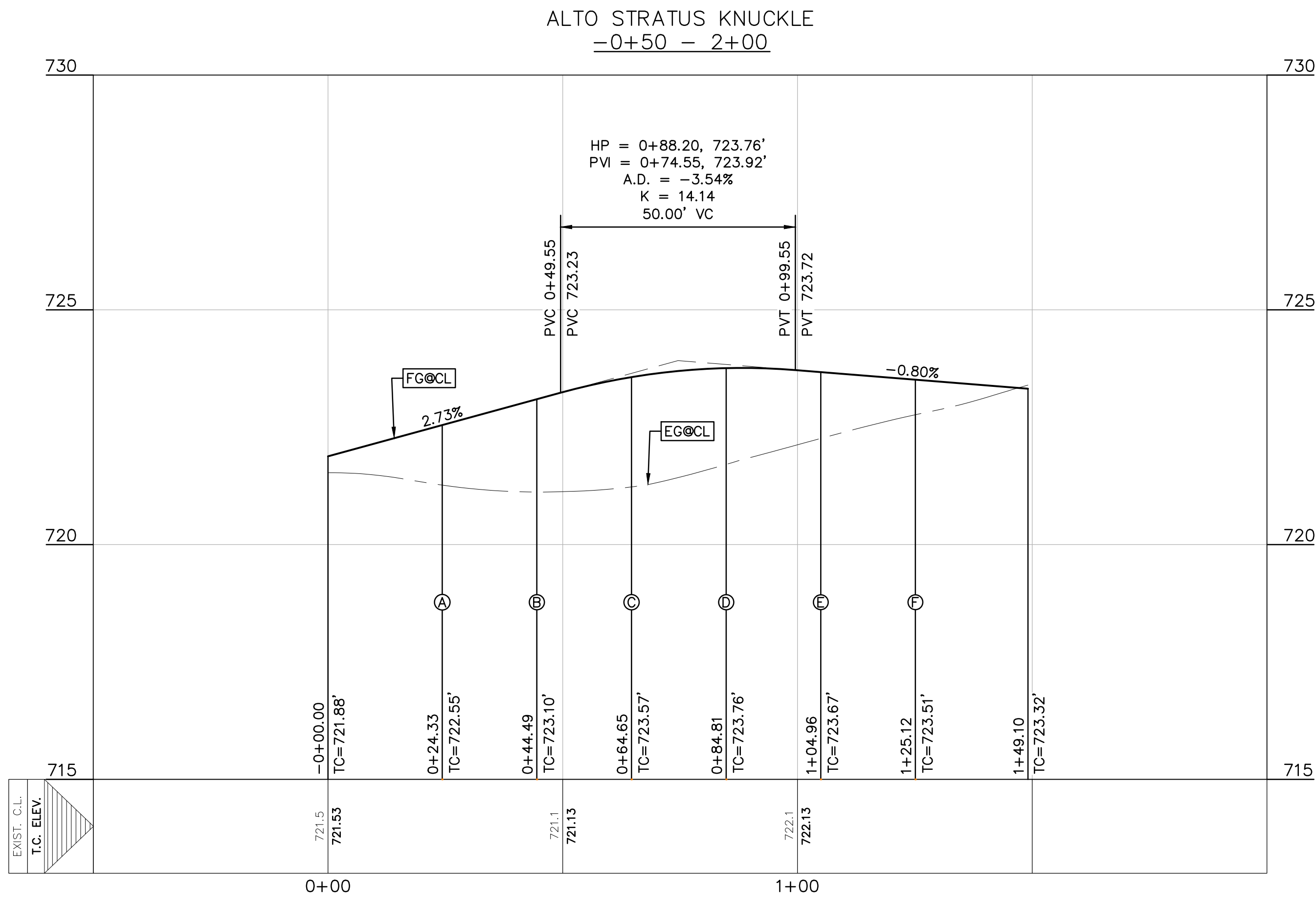
DATE: AUGUST 2020
DRAWN BY: JMM
DESIGNED BY: JMM
REVIEWED BY: CVH
HMT PROJECT NO.: 056.018

**SHEET
C6.10**

THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR WILL AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE INCURRED BY THEIR FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES, STRUCTURES OR FACILITIES. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES 24-HOURS PRIOR TO COMMENCING CONSTRUCTION.

290 S. CASTELL AVE., STE. 100
NEW BRAUNFELS, TX 78130
TBPE FIRM F-10961
TBPLS FIRM 1053600





LEGEND

- EXISTING CONTOURS
- PROPOSED CONTOURS
- B.L. BUILDING SETBACK LINE
- U.E. UTILITY EASEMENT
- D.E. DRAINAGE EASEMENT
- A.D.A. RAMP
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290 S. CASTELL AVE., STE. 100
NEW BRAUNFELS, TX 78130
TBPE FIRM F-10961
TBPLS FIRM 1053600

HMT
ENGINEERING & SURVEYING

STATE OF TEXAS
CHRISTOPHER P. VAN HEERDE
93047
LICENSED PROFESSIONAL ENGINEER
Chris Van Heerde, P.E.

08/07/2020

ALTO STRATUS KNUCKLE
PLAN & PROFILE
CLOUD COUNTRY
UNITS 6 & 8

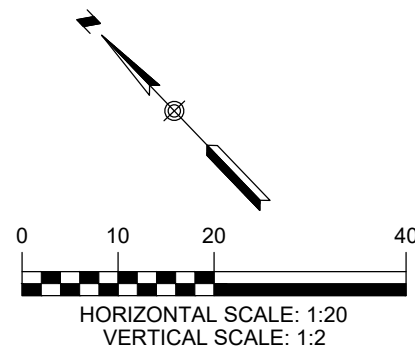
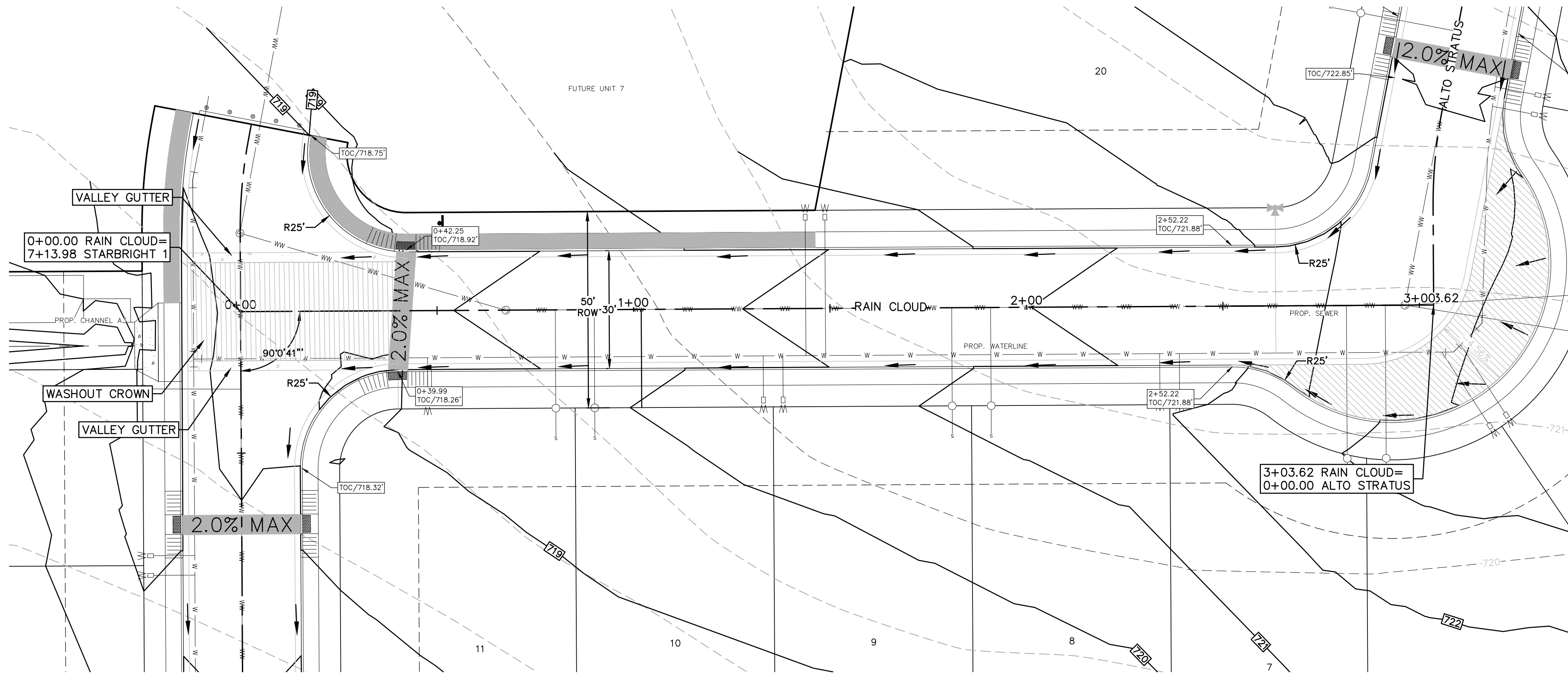
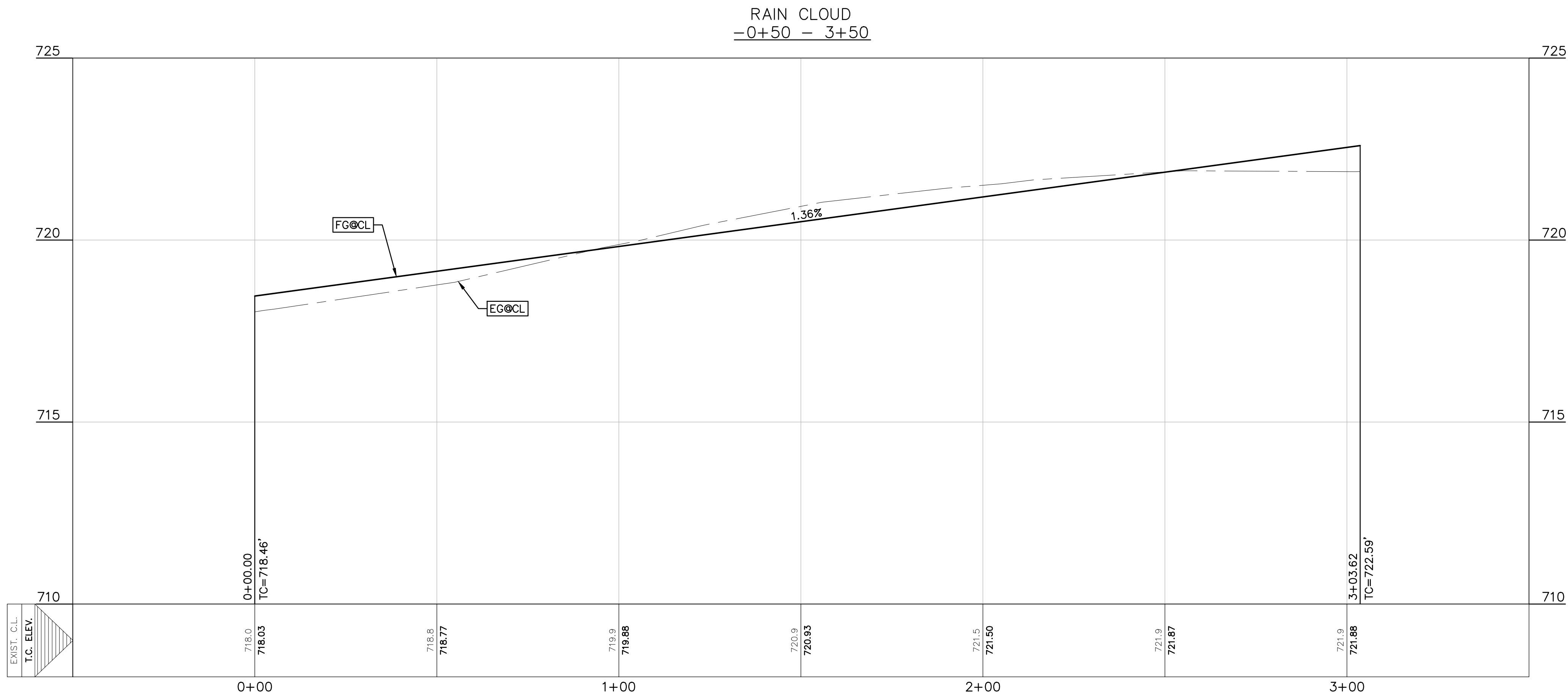
NO.	REVISION DESCRIPTION	REVISION DATE

DATE: AUGUST 2020
DRAWN BY: JMM
DESIGNED BY: JMM
REVIEWED BY: CVH
HMT PROJECT NO.: 056.018

SHEET
C6.11

THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR WILL AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE INCURRED BY THEIR FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES, STRUCTURES OR FACILITIES. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES 24-HOURS PRIOR TO COMMENCING CONSTRUCTION.

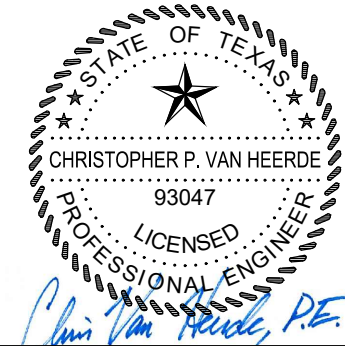
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- LEGEND**
- EXISTING CONTOURS
 - PROPOSED CONTOURS
 - B.L. BUILDING SETBACK LINE
 - U.E. UTILITY EASEMENT
 - D.E. DRAINAGE EASEMENT
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 - ACCESSIBLE CROSSING AREA
CONTRACTOR TO ENSURE MAX 2%
CROSS SLOPE IN THESE AREAS
 - SIDEWALK RAMP TYPE
(SEE DETAIL SHEET C3.10)
 - SIDEWALK TO BE CONSTRUCTED
BY SITE DEVELOPMENT CONTRACTOR

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08/07/2020

**RAIN CLOUD
PLAN & PROFILE
CLOUD COUNTRY
UNITS 6 & 8**

NO.	REVISION DESCRIPTION	REVISION DATE

DATE: AUGUST 2020

DRAWN BY: JMM

DESIGNED BY: JMM

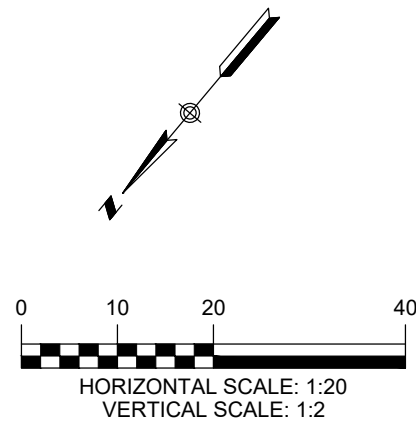
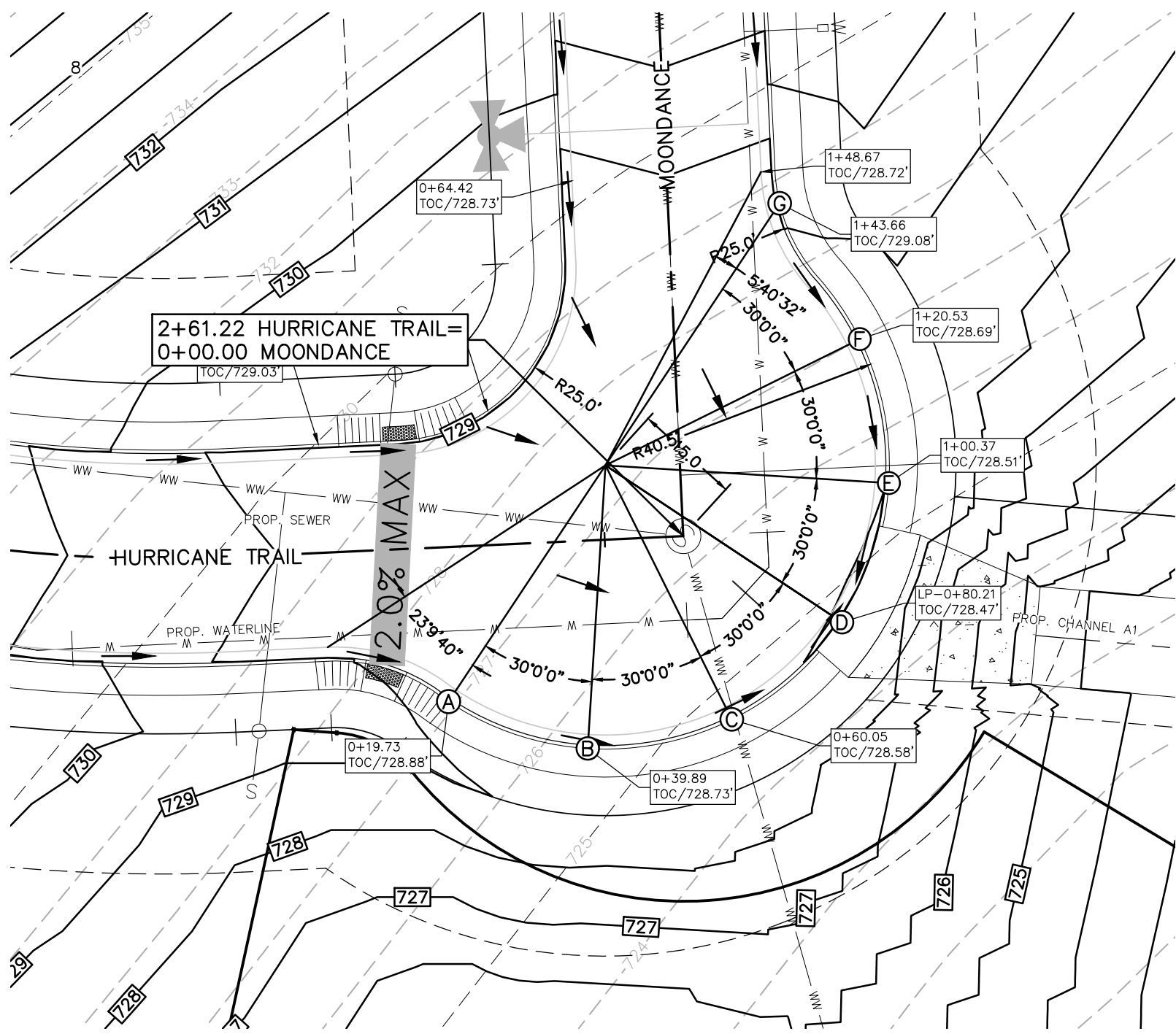
REVIEWED BY: CVH

HMT PROJECT NO.:
056.018

**SHEET
C6.12**

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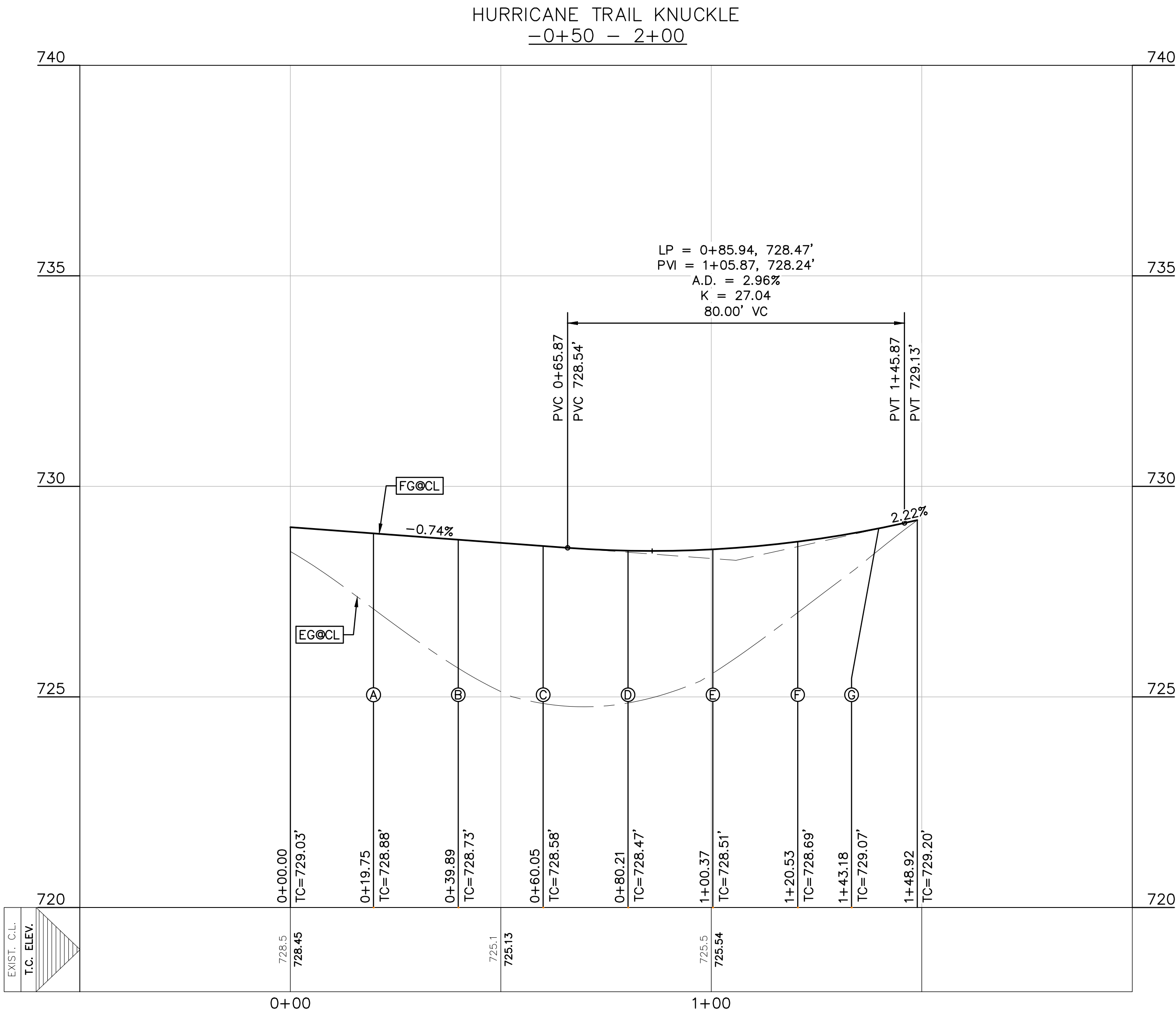
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- LEGEND**
- EXISTING CONTOURS
 - PROPOSED CONTOURS
 - B.L. BUILDING SETBACK LINE
 - U.E. UTILITY EASEMENT
 - D.E. DRAINAGE EASEMENT
 - A.D.A. RAMP
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 - ACCESSIBLE CROSSING AREA
CONTRACTOR TO ENSURE MAX 2%
CROSS SLOPE IN THESE AREAS
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 - SIDEWALK RAMP TYPE
(SEE DETAIL SHEET C3.10)
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290 S. CASTELL AVE., STE. 100
NEW BRAUNFELS, TX 78130
TBPE FIRM F-10961
TBPLS FIRM 1053600



08/07/2020

**HURRICANE TRAIL KNUCKLE
PLAN & PROFILE
CLOUD COUNTRY
UNITS 6 & 8**

NO.	REVISION DESCRIPTION	REVISION DATE

DATE: AUGUST 2020

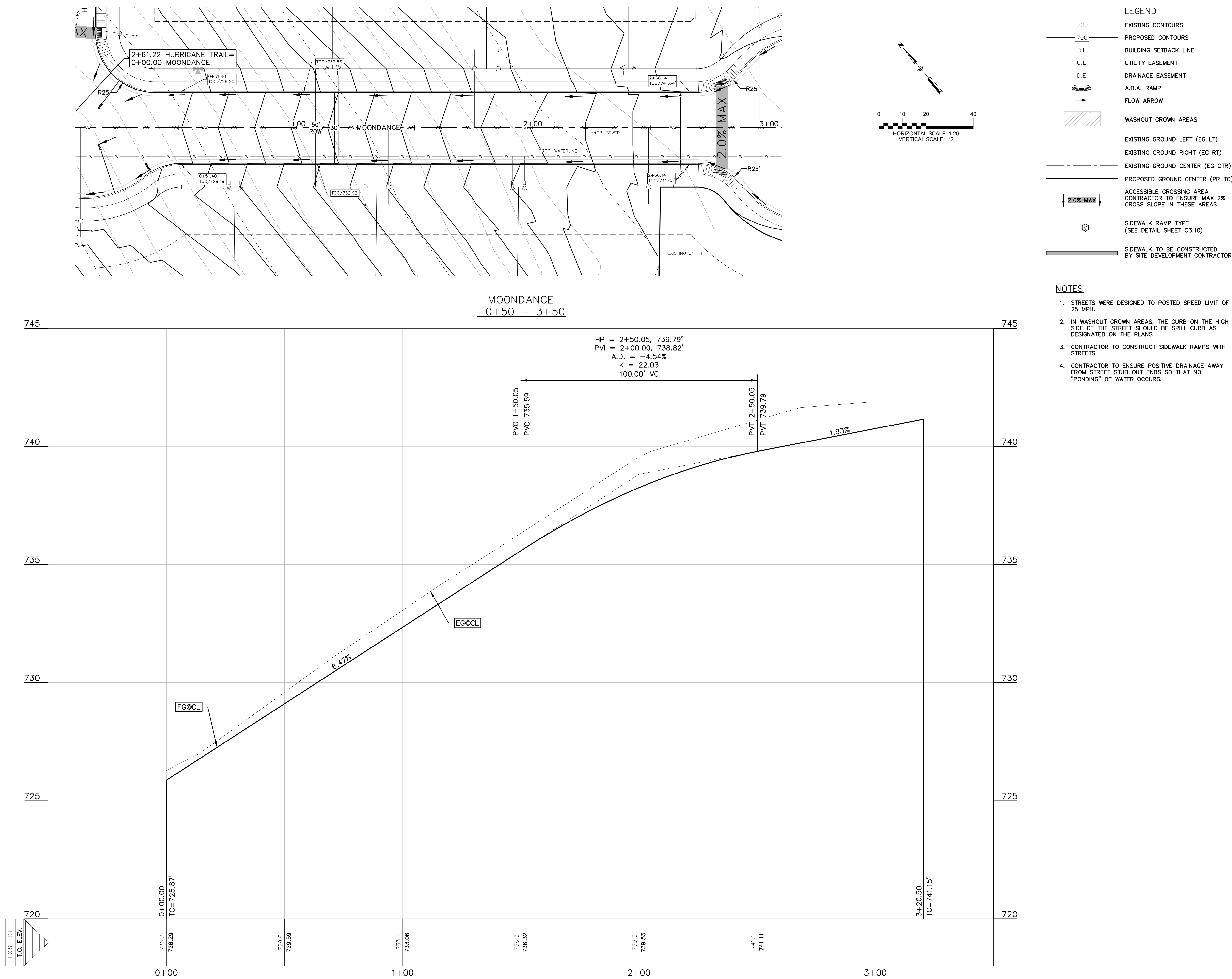
DRAWN BY: JMM

DESIGNED BY: JMM


REVIEWED BY: CVH

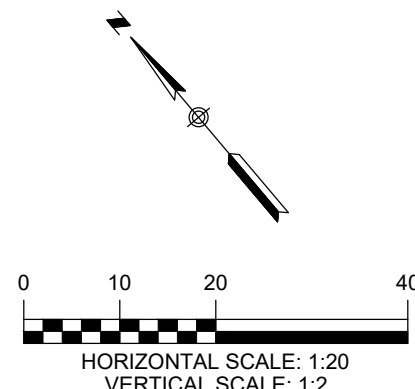
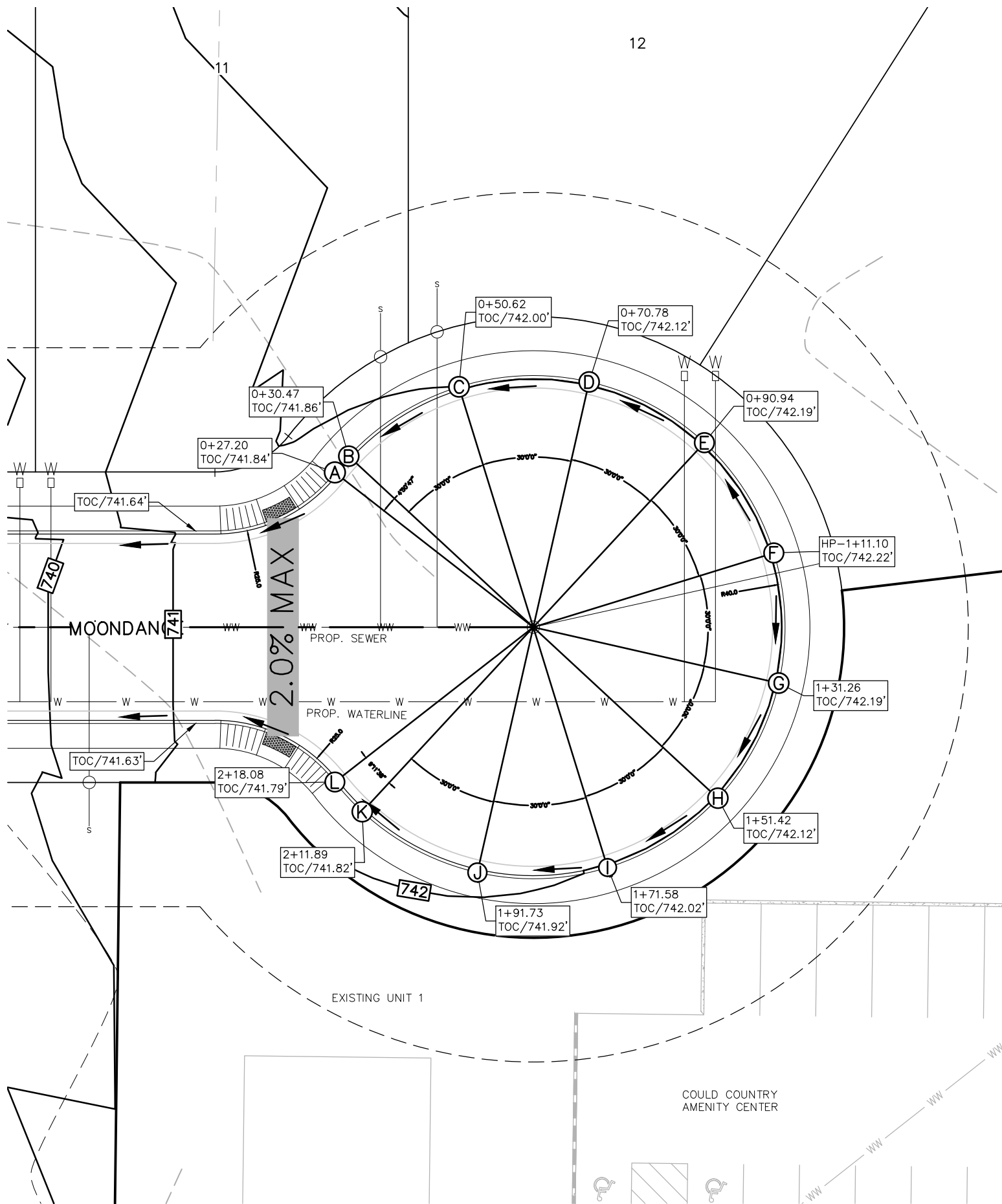
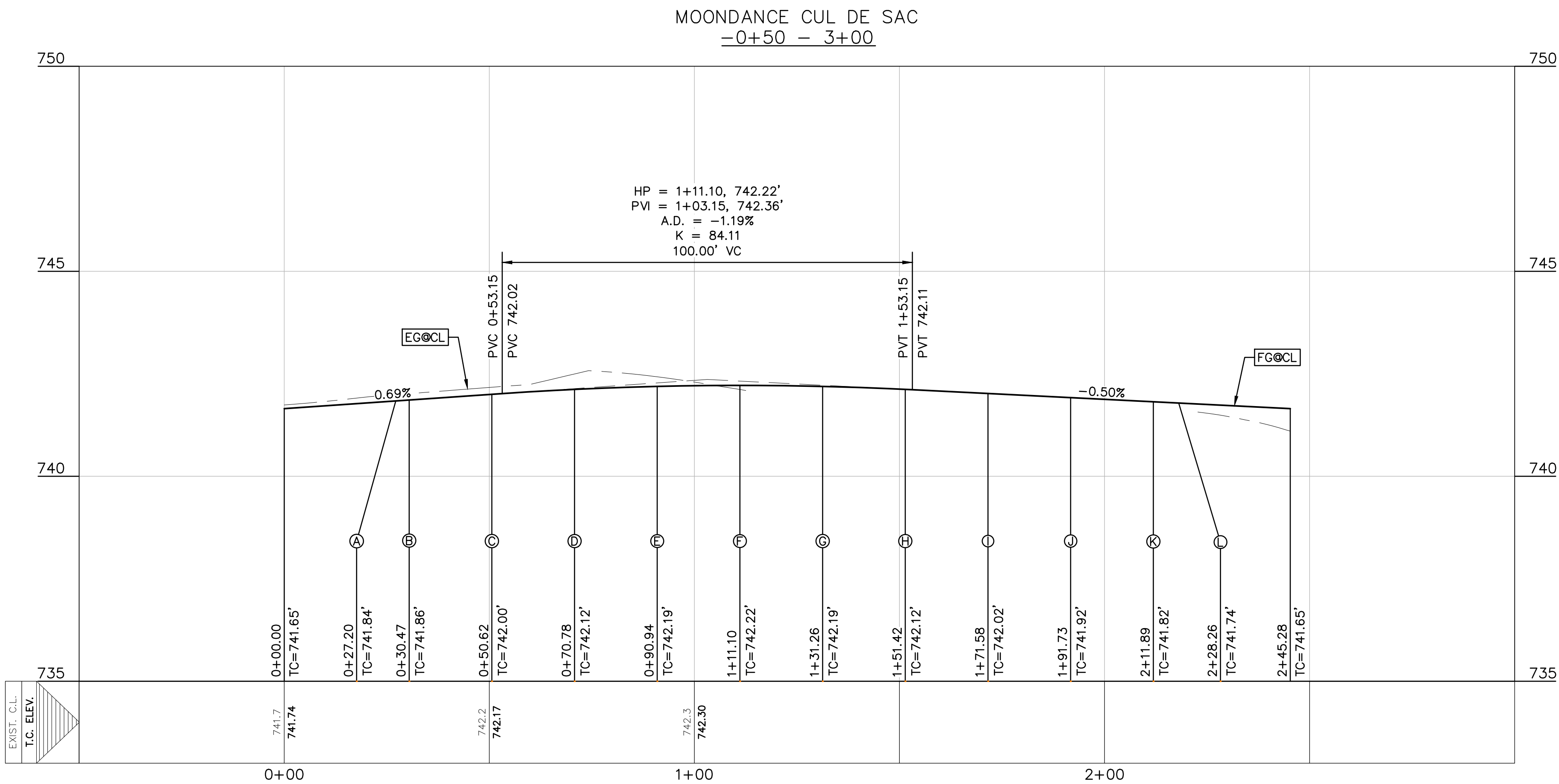
HMT PROJECT NO.:
056.018

**SHEET
C6.14**



THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR WILL AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE INCURRED BY THEIR FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES, STRUCTURES OR FACILITIES. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES 24-HOURS PRIOR TO COMMENCING CONSTRUCTION.

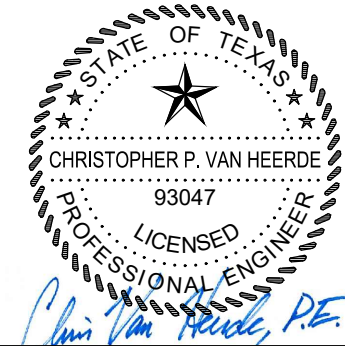
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 <p><i>Chris Van Herde, P.E.</i></p> <p>08/07/2020</p>	
<p>MOONDANCE PLAN & PROFILE</p> <p>CLOUD COUNTRY UNITS 6 & 8</p>	
REVISION DATE	
REVISION DESCRIPTION	
NO.	
DATE: AUGUST 2020	
DRAWN BY: JMM	
DESIGNED BY: JMM	
REVIEWED BY: CVH	
HMT PROJECT NO.: 056.018	
<p align="center">SHEET</p> <p align="center">C6.15</p>	



- LEGEND**
- EXISTING CONTOURS
 - PROPOSED CONTOURS
 - B.L. BUILDING SETBACK LINE
 - U.E. UTILITY EASEMENT
 - D.E. DRAINAGE EASEMENT
 - A.D.A. RAMP
 - FLOW ARROW
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CONTRACTOR TO ENSURE MAX 2%
CROSS SLOPE IN THESE AREAS
 - 2.0% MAX
 - SIDEWALK RAMP TYPE
(SEE DETAIL SHEET C3.10)
 - SIDEWALK TO BE CONSTRUCTED
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08/07/2020

**MOONDANCE CUL-DE-SAC
PLAN & PROFILE
CLOUD COUNTRY
UNITS 6 & 8**

NO.	REVISION DESCRIPTION	REVISION DATE

DATE: AUGUST 2020

DRAWN BY: JMM

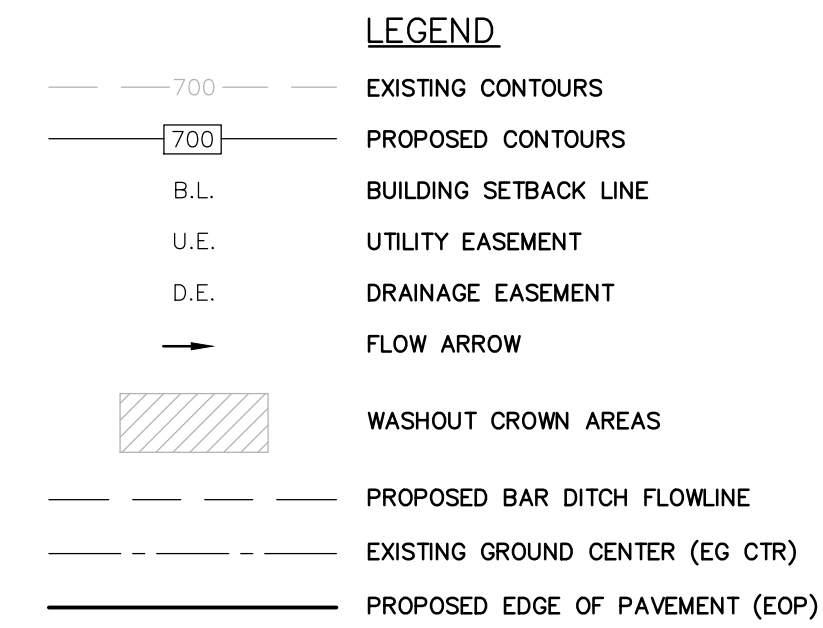
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REVIEWED BY: CVH

HMT PROJECT NO.:
056.018

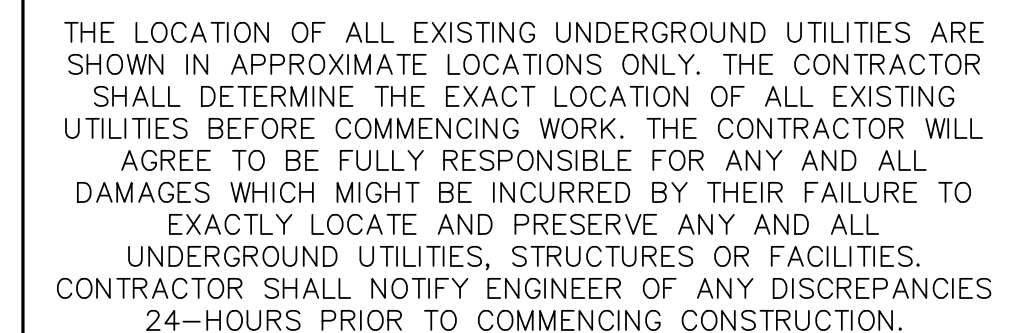
**SHEET
C6.16**

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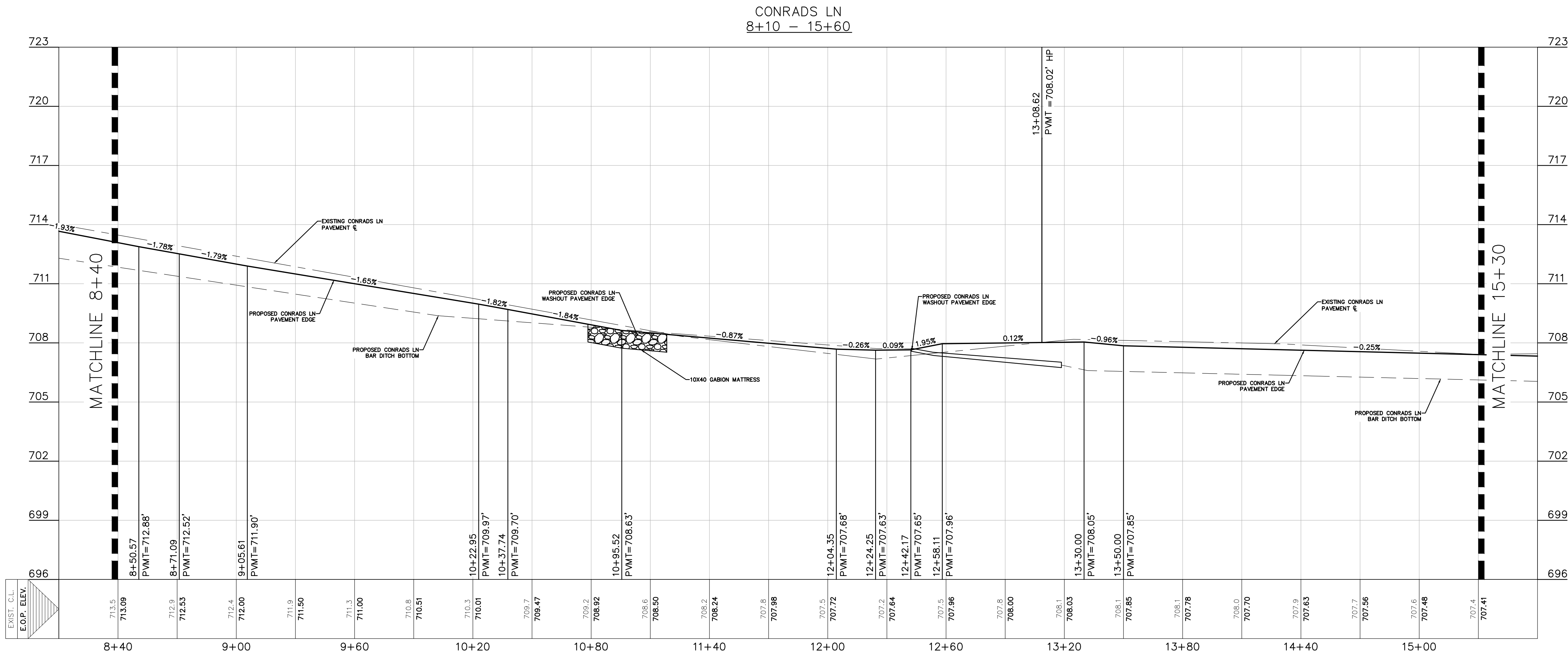
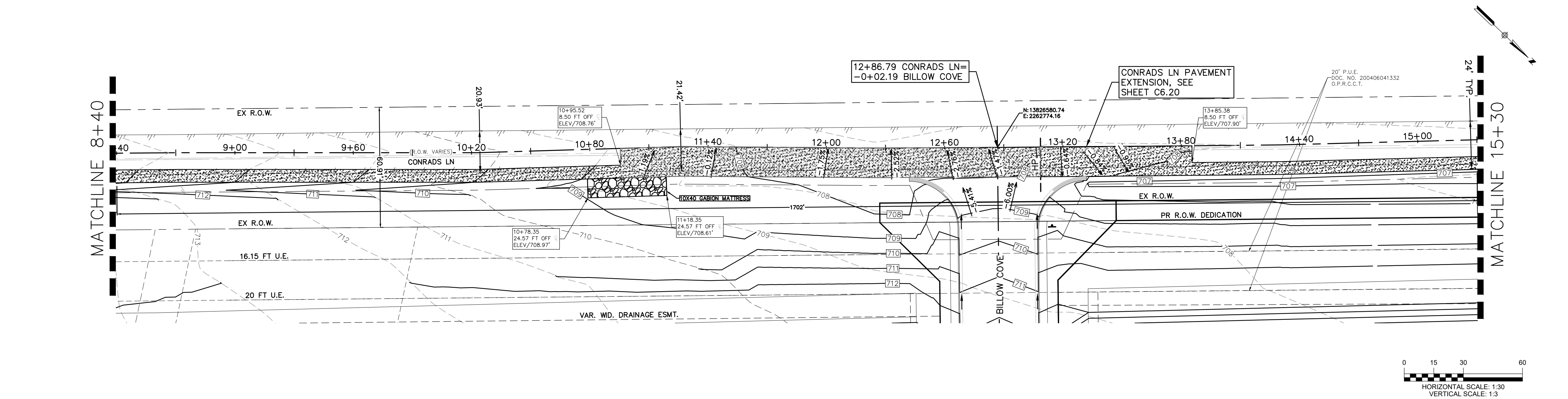


NOTES:

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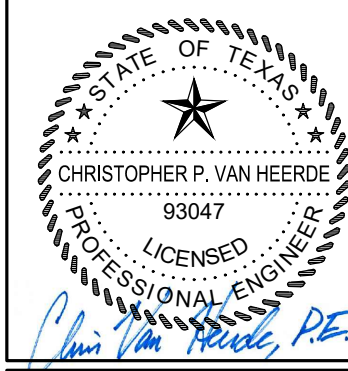
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 - D.E. DRAINAGE EASEMENT
 - FLOW ARROW
 - WASHOUT CROWN AREAS
 - PROPOSED BAR DITCH FLOWLINE
 - EXISTING GROUND CENTER (EG CTR)
 - PROPOSED EDGE OF PAVEMENT (EOP)
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290 S. CASTELL AVE., STE. 100
NEW BRAUNFELS, TX 78130
TBPE FIRM F-10961
TBPLS FIRM 1053600



08/07/2020

CONRAD'S LANE IMPROVEMENTS
STA 8+40-15+30
CLOUD COUNTRY
UNITS 6 & 8

NO.	REVISION	DESCRIPTION	REVISION DATE

DATE: AUGUST 2020

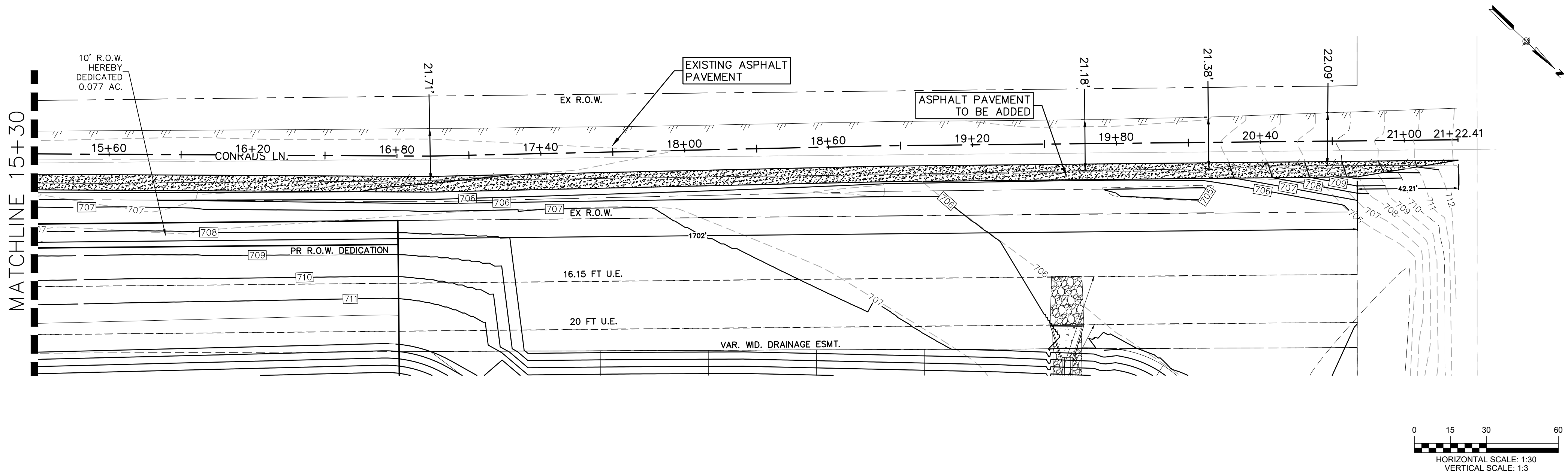
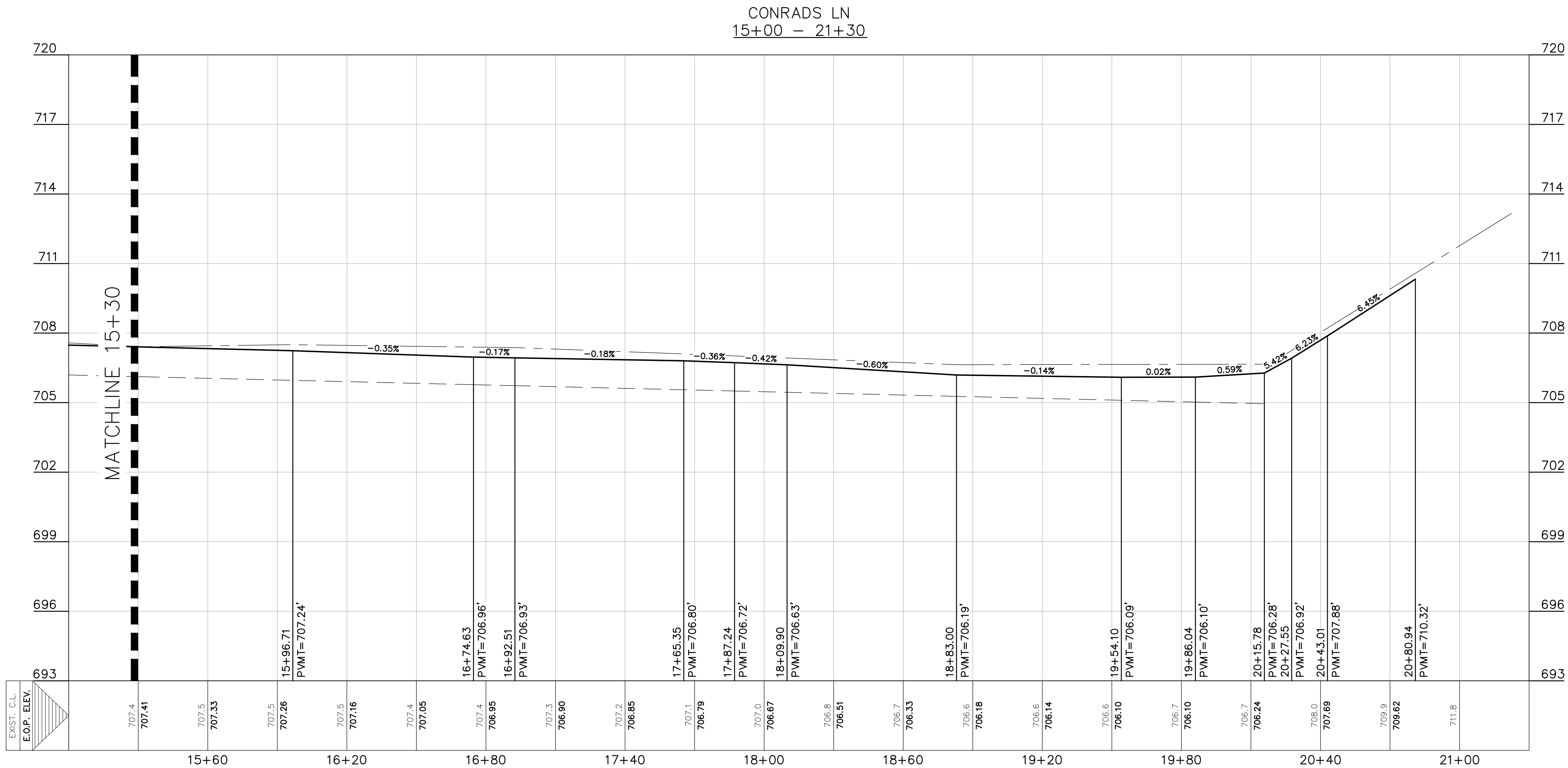
DRAWN BY: JMM

DESIGNED BY: JMM

REVIEWED BY: CVH

HMT PROJECT NO.:
056.018

SHEET
C6.18



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290 S. CASTELL AVE., STE. 100
NEW BRAUNFELS, TX 78130
TBPE FIRM F-10961
TBPLS FIRM 1053600

HMT
ENGINEERING & SURVEYING

CHRISTOPHER P. VAN HEERDE
93047
LICENSED PROFESSIONAL ENGINEER

08/07/2020

CONRAD'S LANE IMPROVEMENTS
STA 15+30-END
CLOUD COUNTRY
UNITS 6 & 8

NO.	REVISION DESCRIPTION	REVISION DATE

DATE: **AUGUST 2020**

DRAWN BY: **JMM**

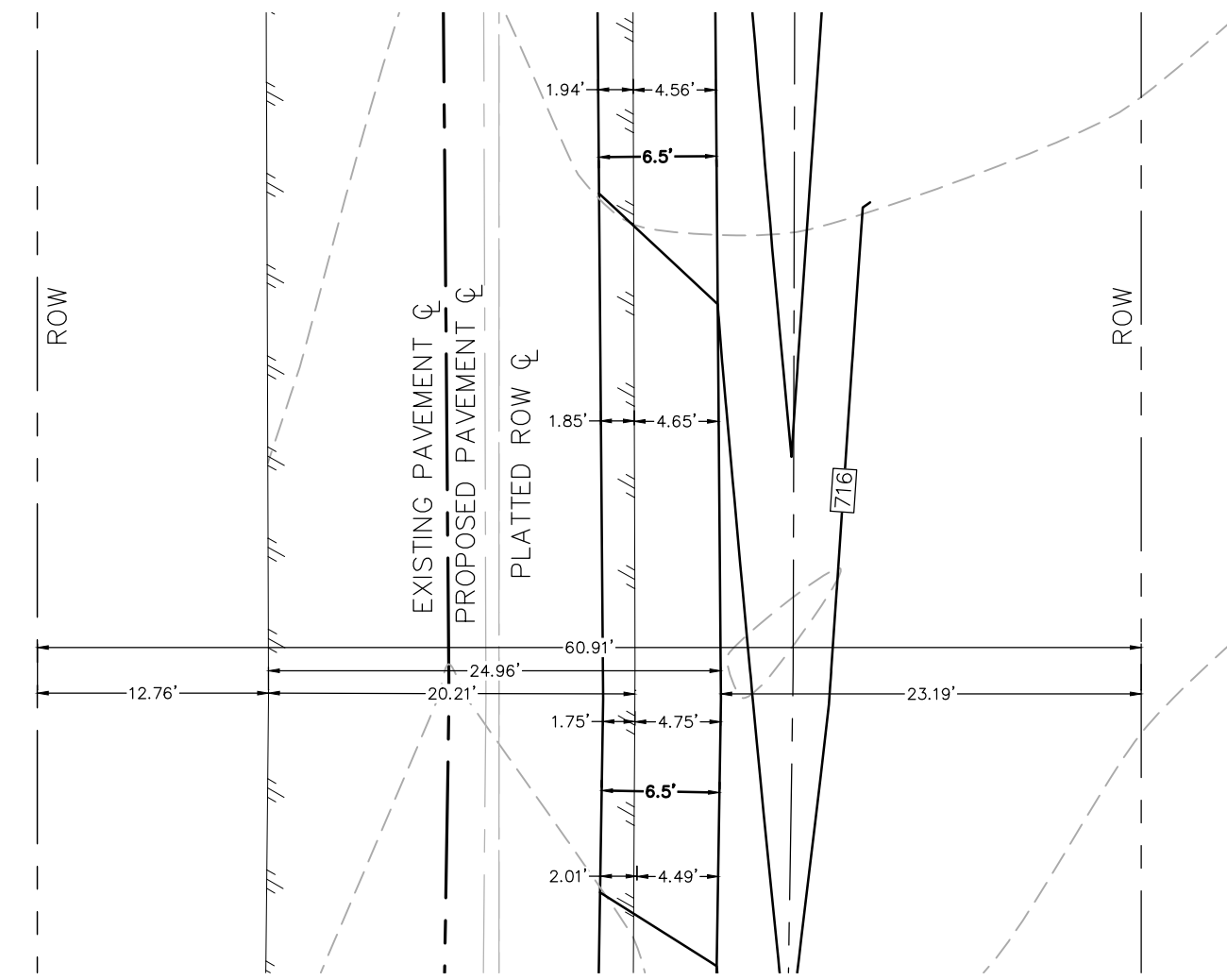
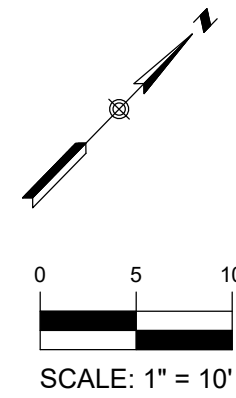
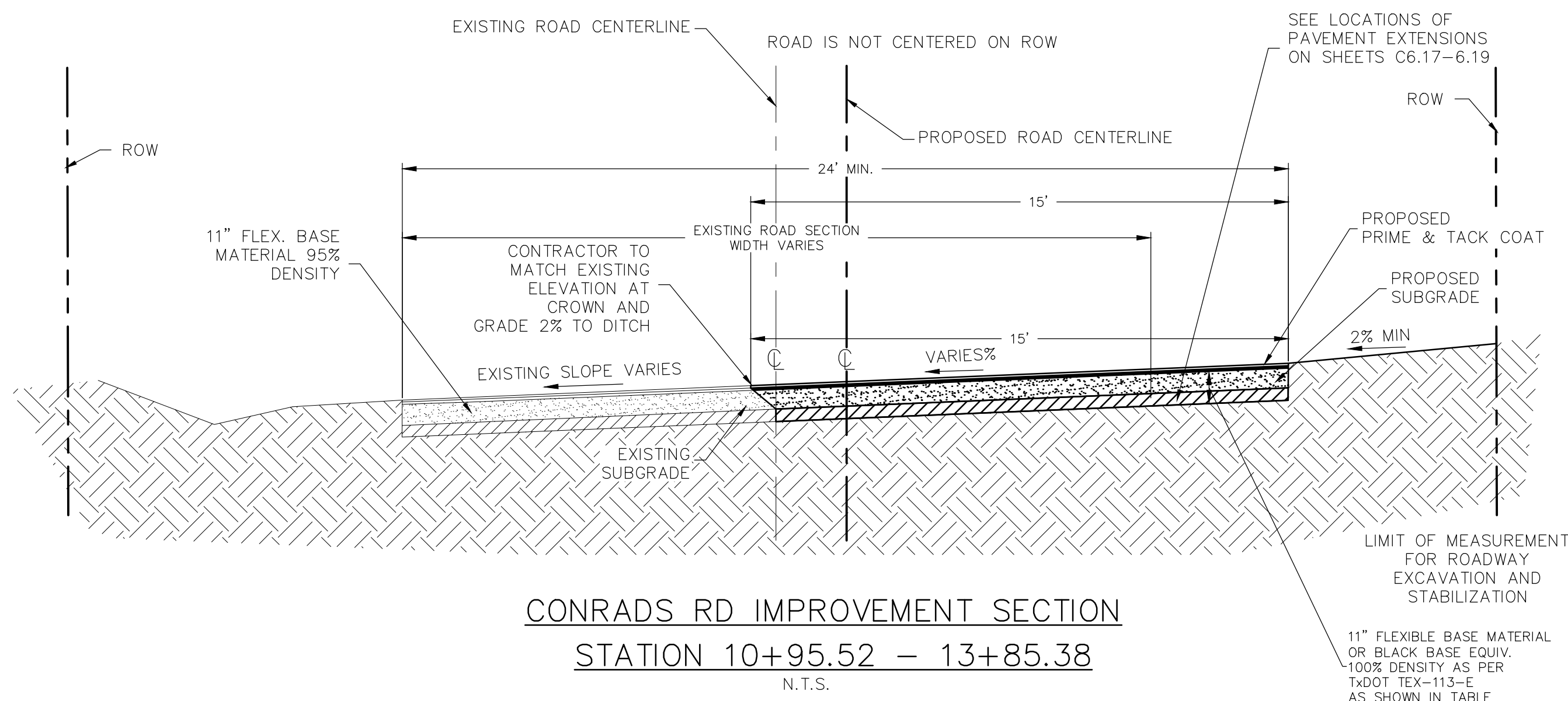
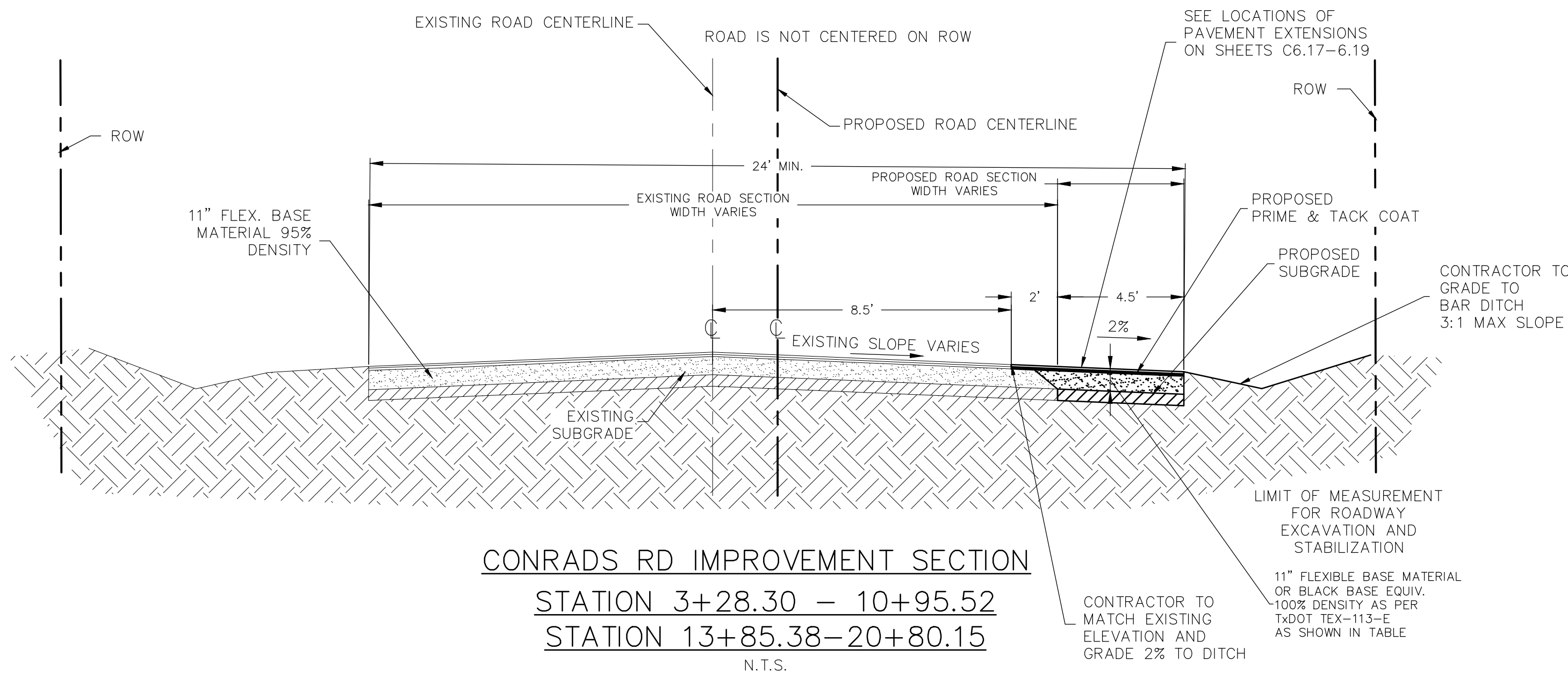
DESIGNED BY: **JMM**

REVIEWED BY: **CVH**

HMT PROJECT NO.:
056.018

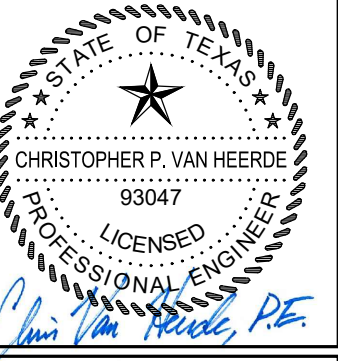
SHEET
C6.19

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- LEGEND**
- EXISTING CONTOURS
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 - U.E. UTILITY EASEMENT
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 - FLOW ARROW
 - WASHOUT CROWN AREAS
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08/07/2020

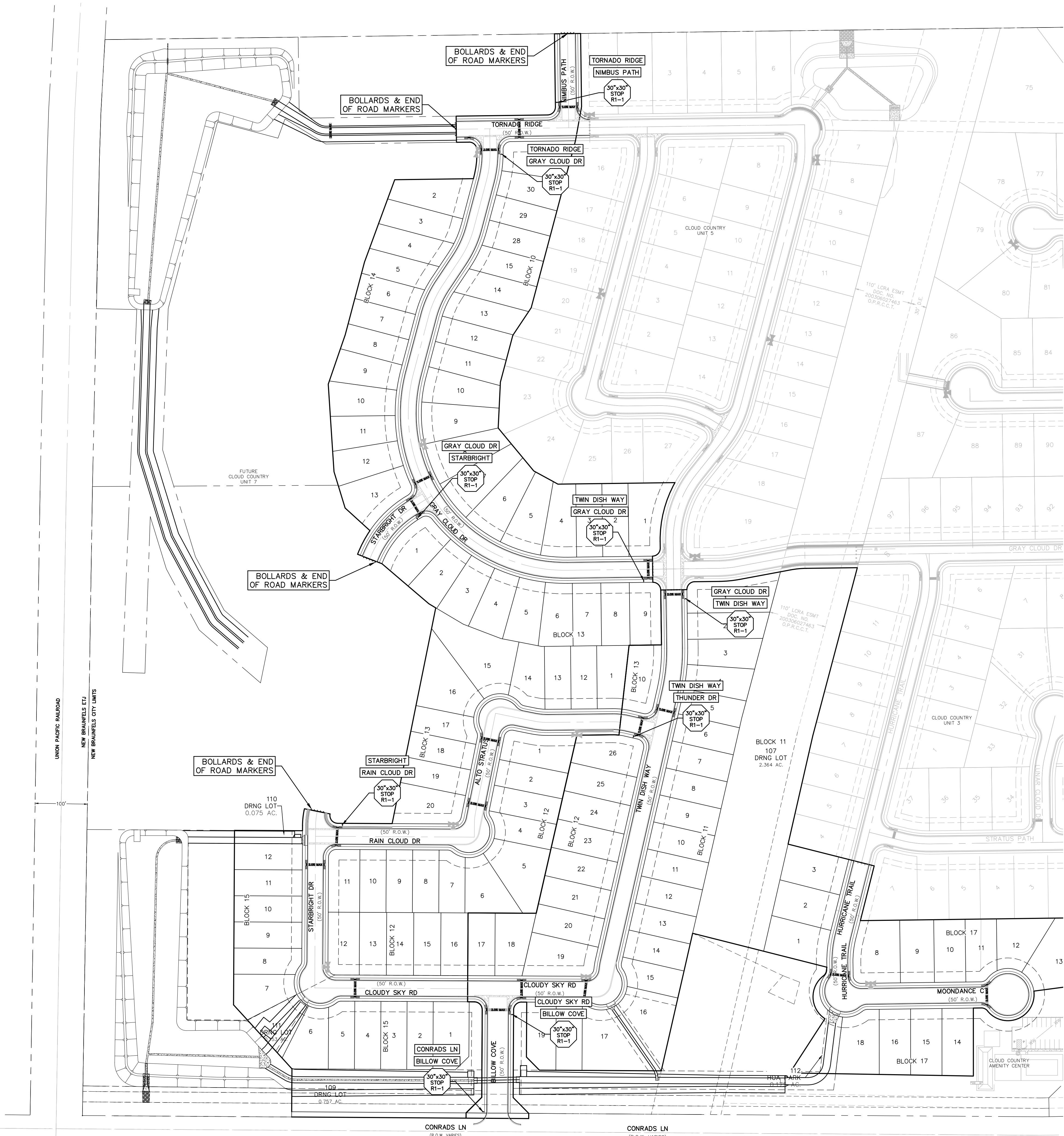
CONRAD LANE DETAILS
CLOUD COUNTRY
UNITS 6 & 8

REVISION DATE	REVISION DESCRIPTION	NO.

DATE: **AUGUST 2020**
DRAWN BY: **JMM**
DESIGNED BY: **JMM**
REVIEWED BY: **CVH**
HMT PROJECT NO.: **056.018**

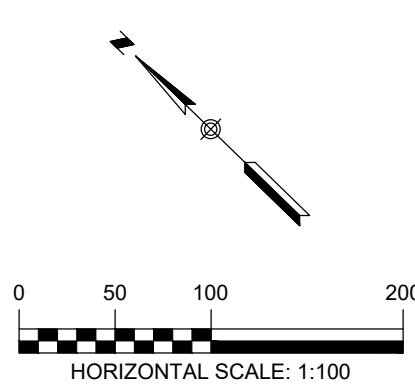
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SHEET
C6.20



- LEGEND**
- 700 EXISTING CONTOURS
 - 700 PROPOSED CONTOURS
 - B.L. BUILDING SETBACK LINE
 - U.E. UTILITY EASEMENT
 - D.E. DRAINAGE EASEMENT
 - FLOW ARROW
 - EXISTING GROUND LEFT (EG LT)
 - EXISTING GROUND RIGHT (EG RT)
 - EXISTING GROUND CENTER (EG CTR)
 - PROPOSED TOP OF CURB (PR TC)

- NOTES:**
- STREETS WERE DESIGNED TO POSTED SPEED LIMIT OF 25 MPH.
 - ALL A.D.A. RAMPS ARE TO BE CONSTRUCTED BY THE SITE DEVELOPMENT CONTRACTOR AT THE TIME OF STREET CONSTRUCTION.



SIGNAGE NOTES

INSTALLATION

THE CONTRACTOR SHALL FURNISH AND INSTALL ALL REGULATORY, WARNING AND STREET NAME SIGNS AND SIGN MOUNTS IN ACCORDANCE WITH APPROVED ENGINEERING PLANS.

MOUNTING

THE WEDGE ANCHOR STEEL SYSTEM AND THIN-WALLED TUBING POST SHALL BE USED FOR SIGNS WITH UP TO 10 SQUARE FEET OF SIGN AREA. MATERIALS AND INSTALLATION SHOULD FOLLOW THE TEXAS DEPARTMENT OF TRANSPORTATION (TXDOT) TRAFFIC STANDARDS SMD (GEN) - 08 AND SMD (TWT) - 08.

THE TRIANGULAR SLIP BASE SYSTEM AND 10 BWG TUBING POST SHALL BE USED FOR SIGNS THAT HAVE 10 TO 16 SQUARE FEET OF SIGN AREA. MATERIALS AND INSTALLATION SHOULD FOLLOW THE TXDOT TRAFFIC STANDARDS SMD (GEN) - 08 AND SMD (SLIP-1-3) - 08.

OBJECT MARKERS MATERIALS AND INSTALLATION SHOULD FOLLOW THE TXDOT TRAFFIC STANDARDS D & OM (1 - 5) - 10.

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290 S. CASTELL AVE., STE. 100
NEW BRAUNFELS, TX 78130
TBPE FIRM F-10961
TBPLS FIRM 1053600



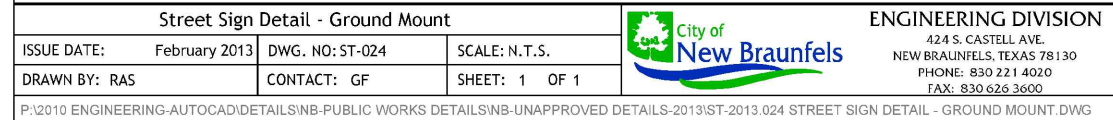
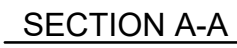
08/07/2020

SIGNAGE PLAN
CLOUD COUNTRY
UNITS 6 & 8

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DATE: AUGUST 2020
DRAWN BY: JMM
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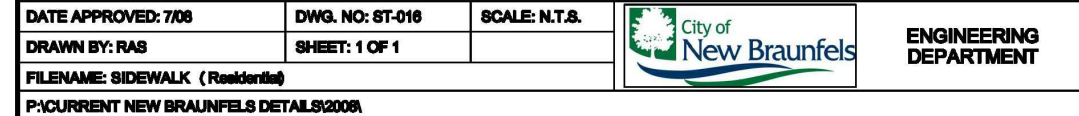
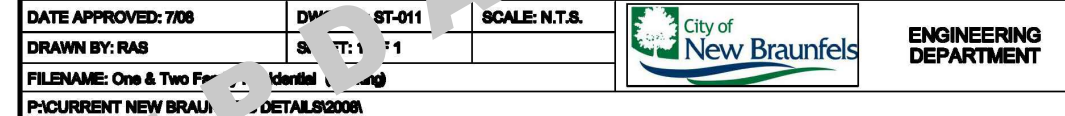
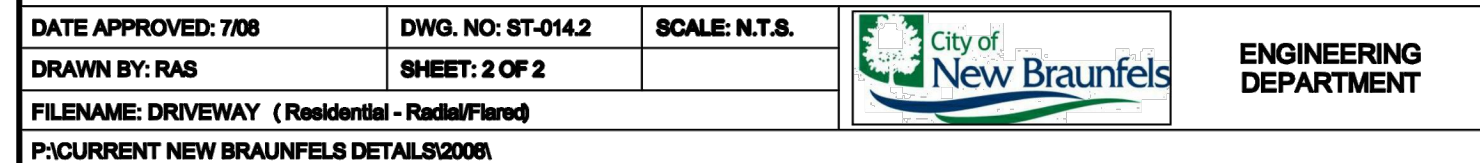
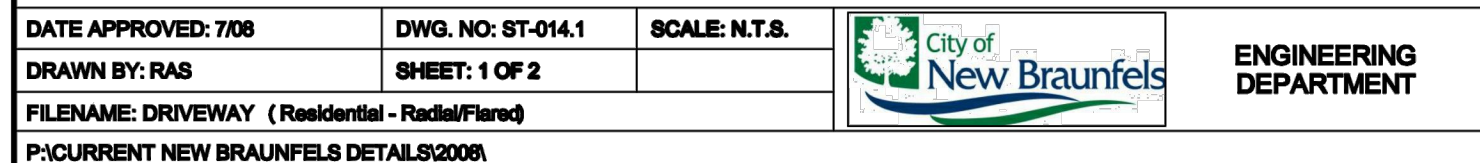
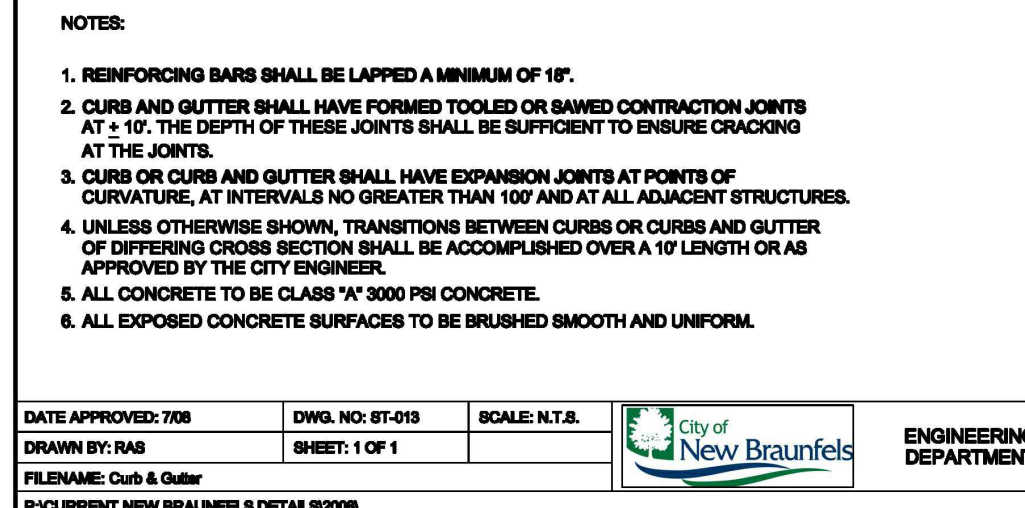
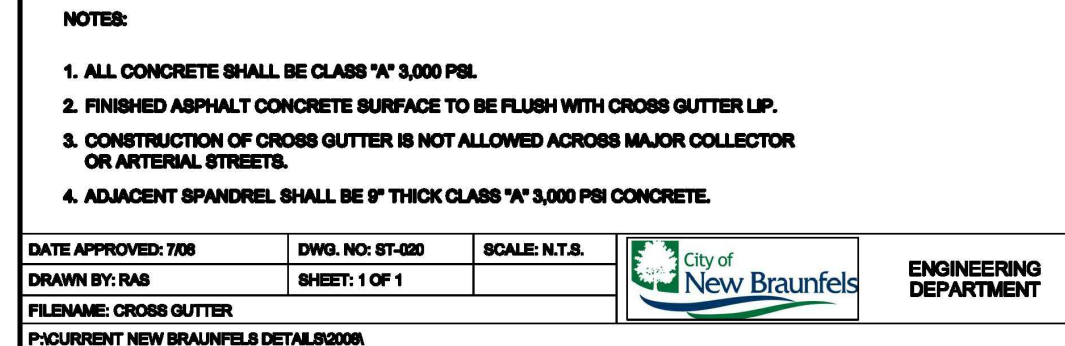
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C6.21



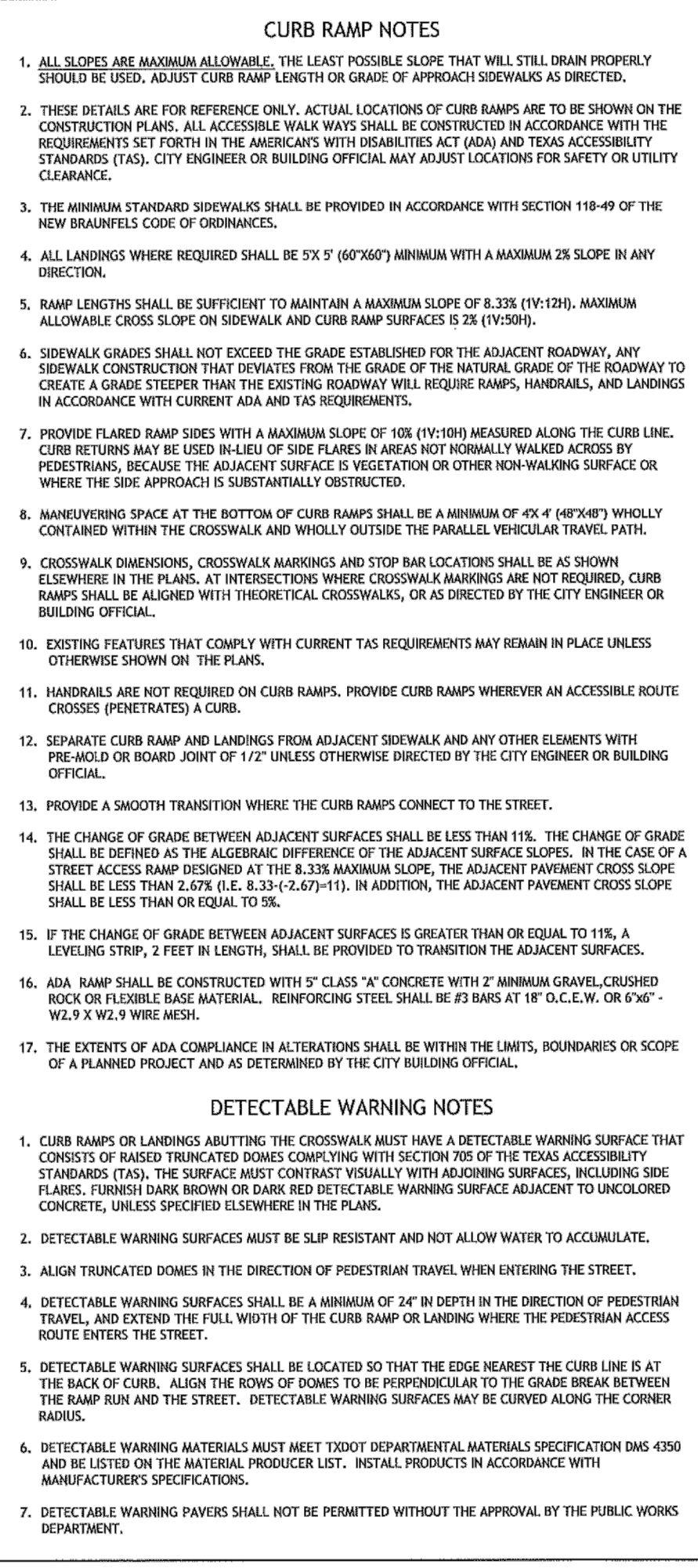
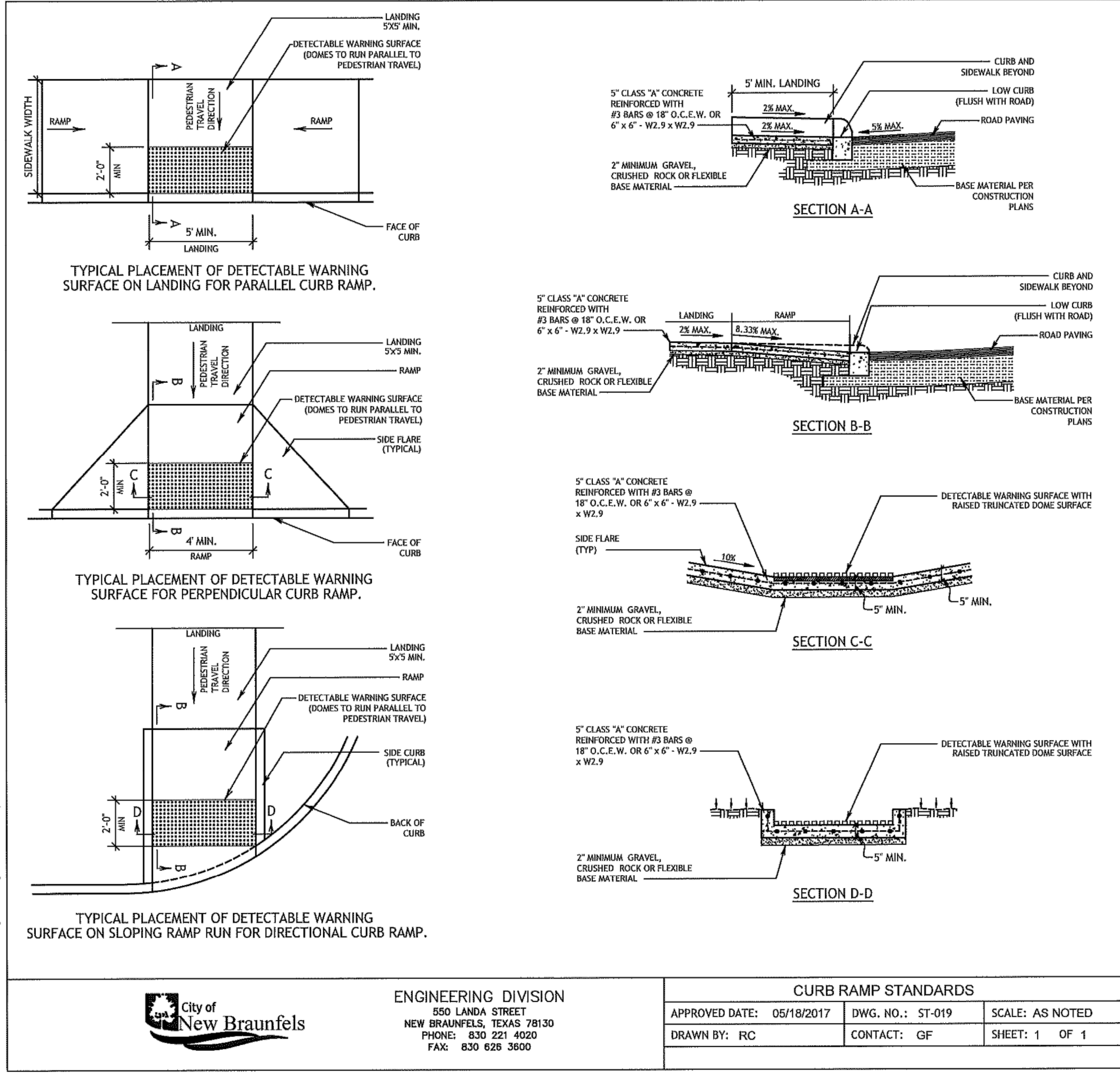
NOTE:

1. ALL PAVEMENT CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE TO THE "PRELIMINARY GEOTECHNICAL ENGINEERING STUDY, CLOUD COUNTRY SUBDIVISION" STUDY, PERFORMED BY FROST GEOSCIENCES, INC., DATED JUNE 19, 2006. ALL PAVEMENT SECTIONS SHOWN ON THE ABOVE TABLE SHALL REFLECT EVERY ANY STANDARD DETAILS WITH RESPECT TO DEPTH OF MATERIALS ASSOCIATED WITH THIS PROJECT.
2. THE SUBGRADE SHOULD BE STABILIZED USING LIME IN ACCORDANCE WITH THE GEOTECHNICAL REPORT IN ORDER TO ACHIEVE THE FOLLOWING:
 - 2.1. PLASTICITY INDEX OF 20 OR LESS
 - 2.2. PH OF 12.4 OR GREATER
3. THE SUBGRADE SOILS SHOULD BE TESTED FOR SOLUBLE SULPHATE CONTENT PRIOR TO INSTALLATION OF THE LIME OR CEMENT.

TYPICAL PAVEMENT SECTION



DISCLAIMER: The use of this standard is governed by the "Terms Engineering Practice Act". No warranty of any kind is made by the City of New Braunfels for any purpose whatsoever.



ENGINEERING DIVISION
850 LANDA STREET
NEW BRAUNFELS, TEXAS 78130
PHONE: 830 221 4020
FAX: 830 626 3600

City of New Braunfels

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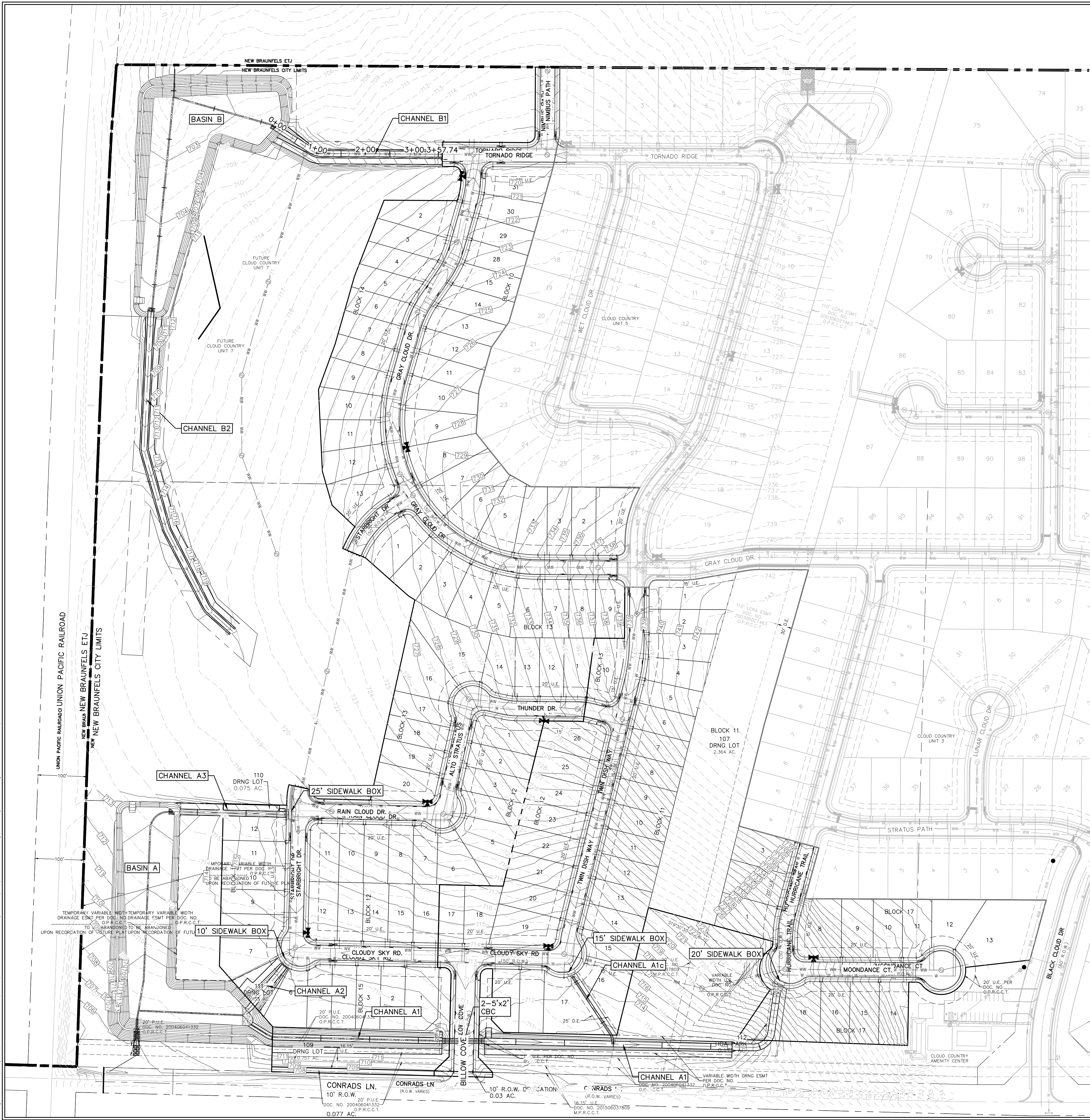
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City of New Braunfels

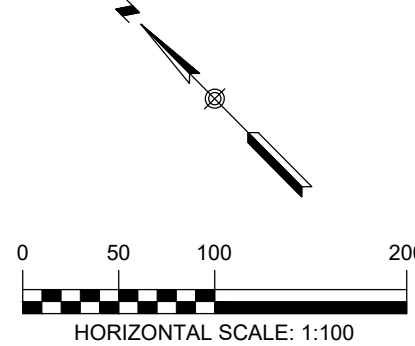
City of New Braunfels

City of New Braunfels

City of New Braun



- LEGEND**
- 700 EXISTING CONTOURS
 - 700 PROPOSED CONTOURS
 - B.L. BUILDING SETBACK LINE
 - U.E. UTILITY EASEMENT
 - D.E. DRAINAGE EASEMENT
 - S.B.C. SINGLE BOX CULVERT
 - PROPOSED STORM DRAIN LINE
 - UTILITY CROSSING



THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR WILL AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE INCURRED BY THEIR FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES, STRUCTURES OR FACILITIES. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES 24-HOURS PRIOR TO COMMENCING CONSTRUCTION.



08/07/2020

OVERALL STORM

CLOUD COUNTRY

UNITS 6 & 8

NO.	REVISION DESCRIPTION	REVISION DATE

DATE: AUGUST 2020

DRAWN BY: JMM

DESIGNED BY: JMM

REVIEWED BY: CVH

HMT PROJECT NO.: 056.018

SHEET

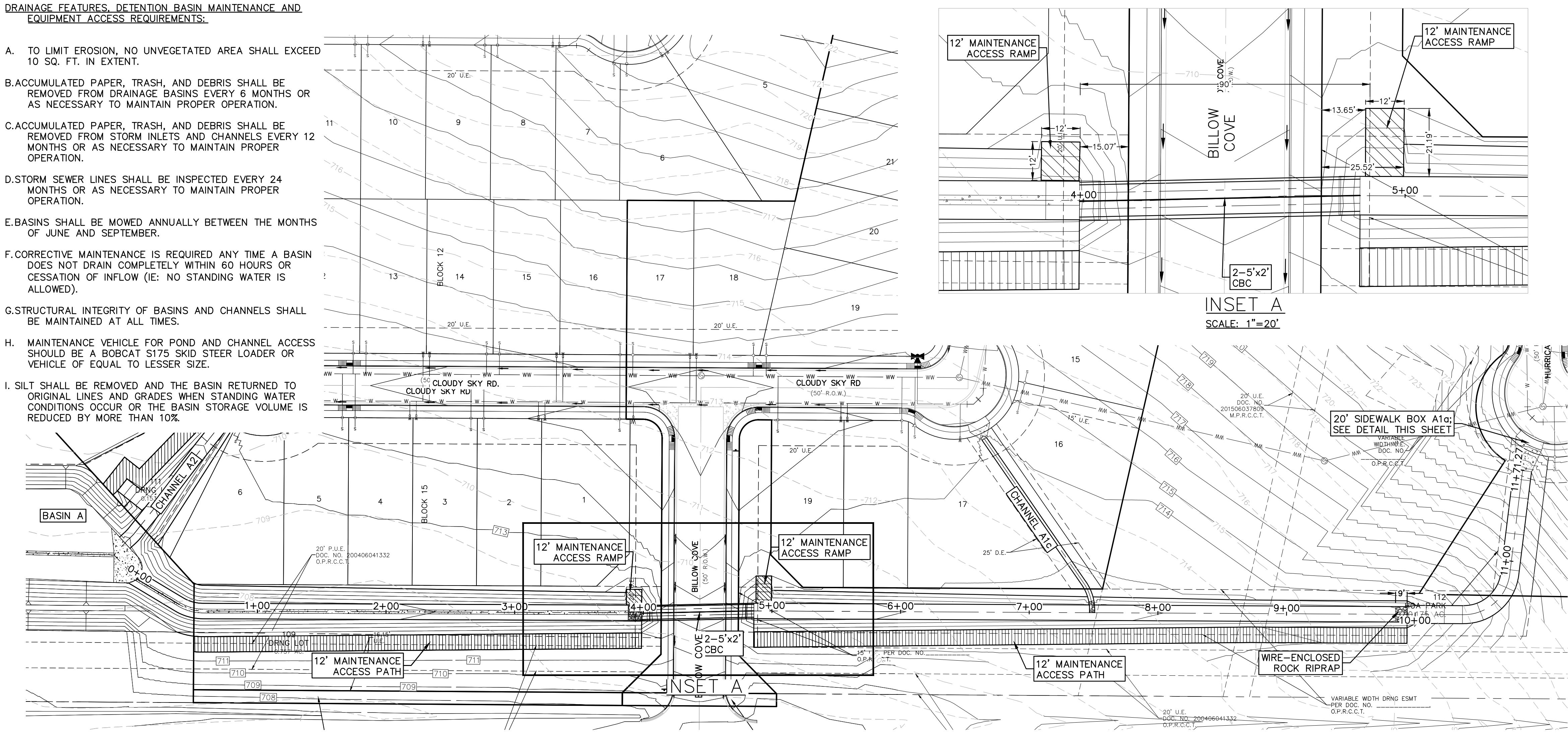
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290 S. CASTELL AVE., STE. 100
NEW BRAUNFELS, TX 78130
TBPE FIRM F-10961
TBPLS FIRM 1053600

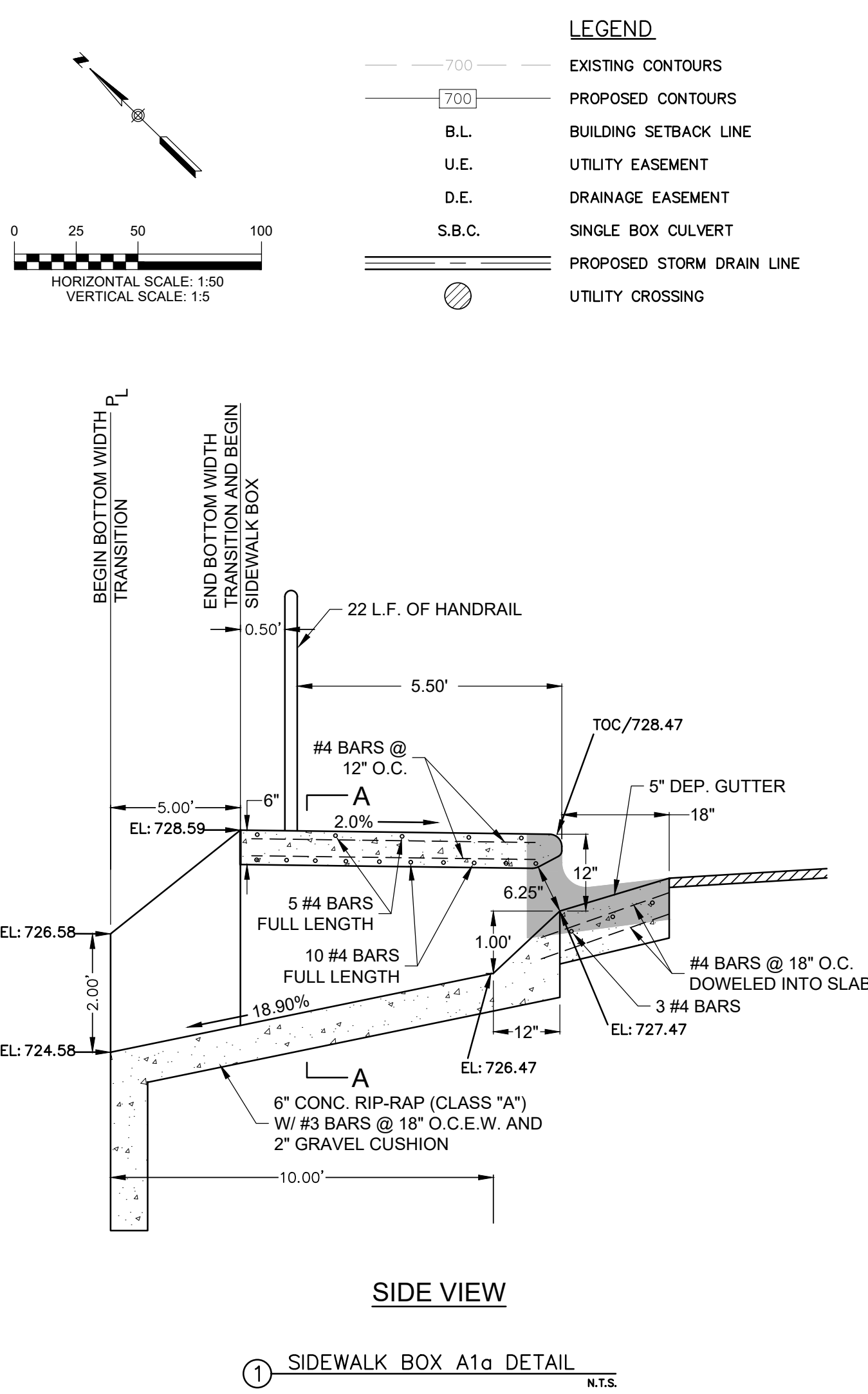
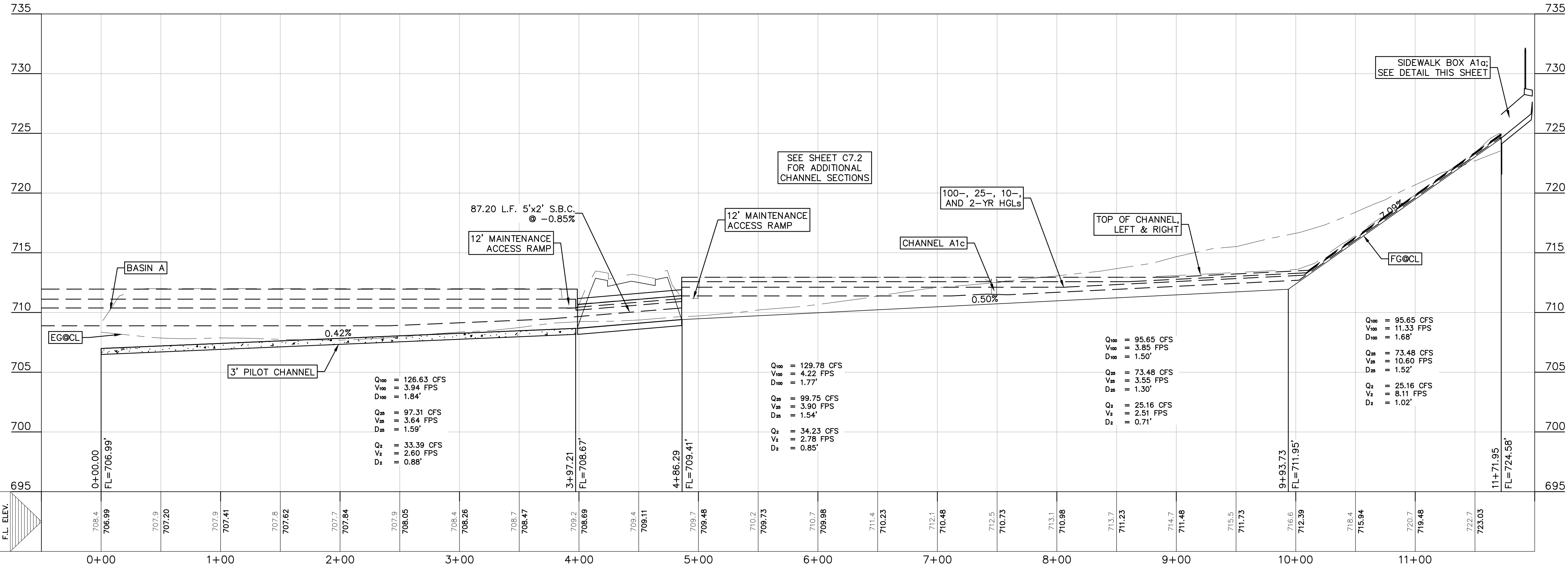


DRAINAGE FEATURES, DETENTION BASIN MAINTENANCE AND EQUIPMENT ACCESS REQUIREMENTS:

- A. TO LIMIT EROSION, NO UNVEGETATED AREA SHALL EXCEED 10 SQ. FT. IN EXTENT.
- B. ACCUMULATED PAPER, TRASH, AND DEBRIS SHALL BE REMOVED FROM DRAINAGE BASINS EVERY 6 MONTHS OR AS NECESSARY TO MAINTAIN PROPER OPERATION.
- C. ACCUMULATED PAPER, TRASH, AND DEBRIS SHALL BE REMOVED FROM STORM INLETS AND CHANNELS EVERY 12 MONTHS OR AS NECESSARY TO MAINTAIN PROPER OPERATION.
- D. STORM SEWER LINES SHALL BE INSPECTED EVERY 24 MONTHS OR AS NECESSARY TO MAINTAIN PROPER OPERATION.
- E. BASINS SHALL BE MOWED ANNUALLY BETWEEN THE MONTHS OF JUNE AND SEPTEMBER.
- F. CORRECTIVE MAINTENANCE IS REQUIRED ANY TIME A BASIN DOES NOT DRAIN COMPLETELY WITHIN 60 HOURS OR CESSATION OF INFLOW (IE: NO STANDING WATER IS ALLOWED).
- G. STRUCTURAL INTEGRITY OF BASINS AND CHANNELS SHALL BE MAINTAINED AT ALL TIMES.
- H. MAINTENANCE VEHICLE FOR POND AND CHANNEL ACCESS SHOULD BE A BOBCAT S175 SKID STEER LOADER OR VEHICLE OF EQUAL TO LESSER SIZE.
- I. SILT SHALL BE REMOVED AND THE BASIN RETURNED TO ORIGINAL LINES AND GRADES WHEN STANDING WATER CONDITIONS OCCUR OR THE BASIN STORAGE VOLUME IS REDUCED BY MORE THAN 10%.

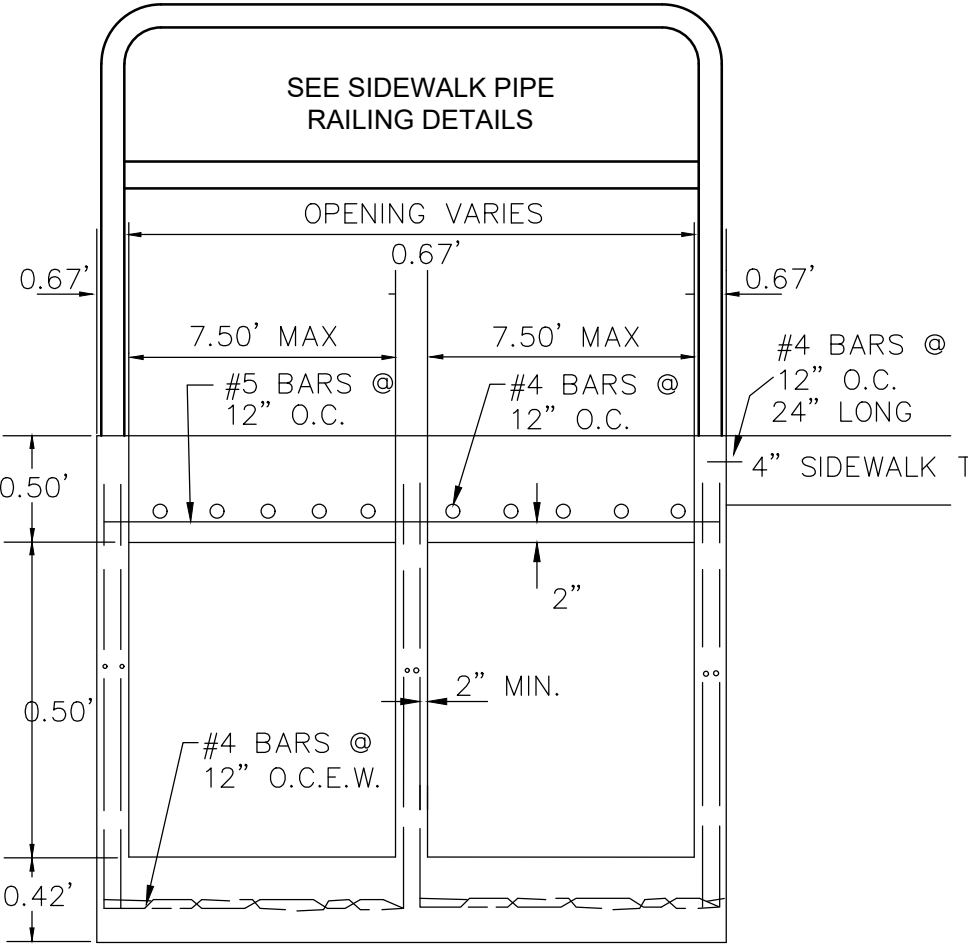


CHANNEL A1
=0+50 - 12+00



SIDE VIEW

① SIDEWALK BOX A1a DETAIL
N.T.S.



SECTION "A-A"

③ CHANNEL A1 9+93.73-11+71.95
N.T.S.

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NEW BRAUNFELS, TX 78130
TBP FIRM F-10961
TBP FIRM 1053600

HMT
ENGINEERING & SURVEYING

CHRISTOPHER P. VAN HEERDE
93047
LICENSED PROFESSIONAL ENGINEER
Civil & Mechanical PE

08/07/2020

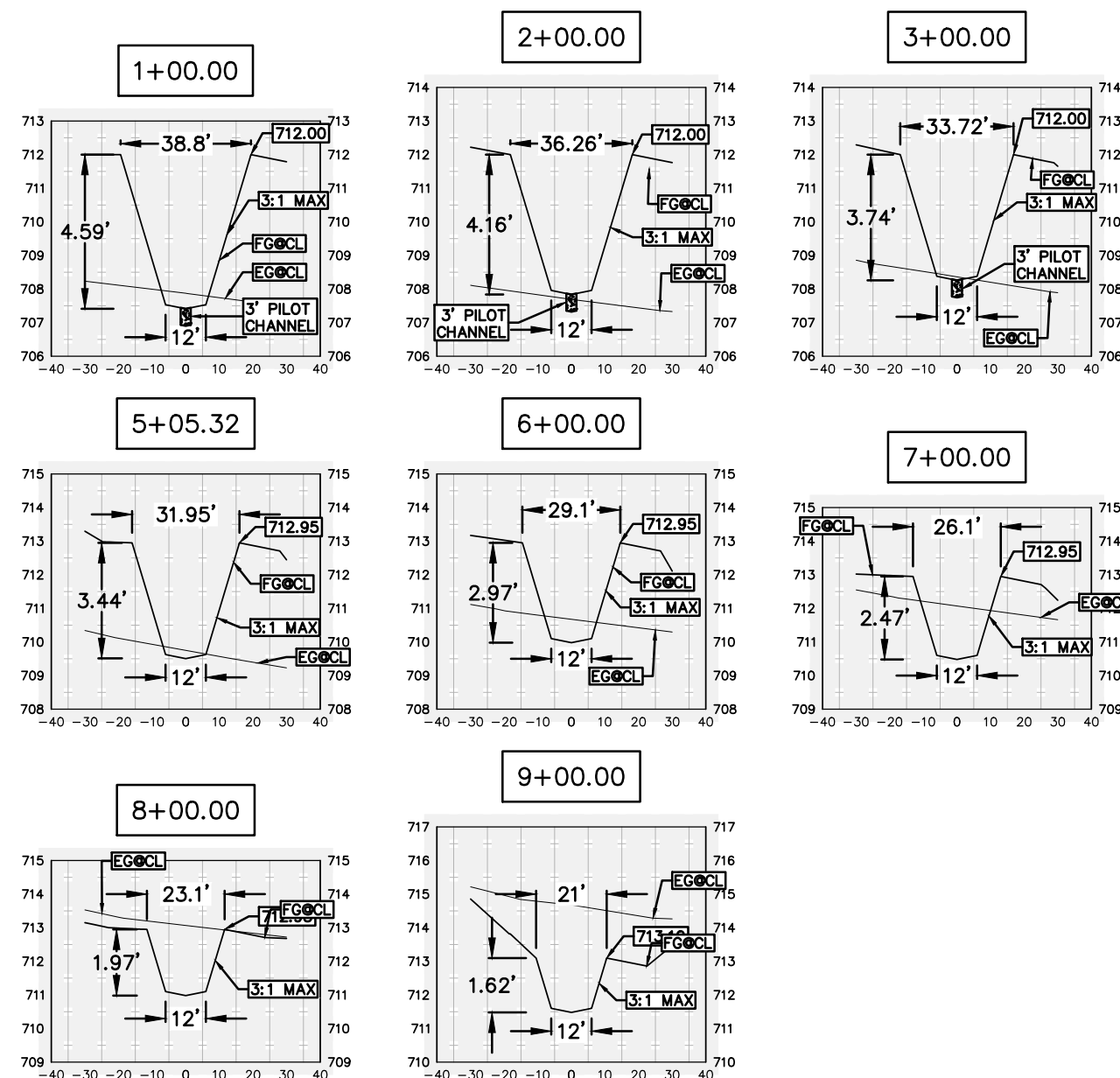
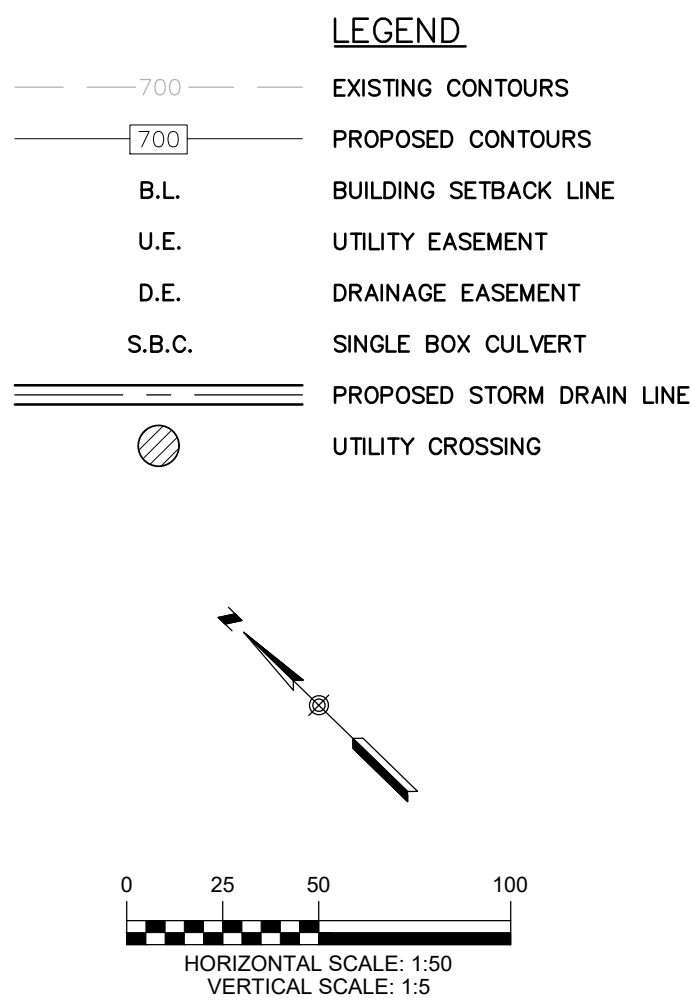
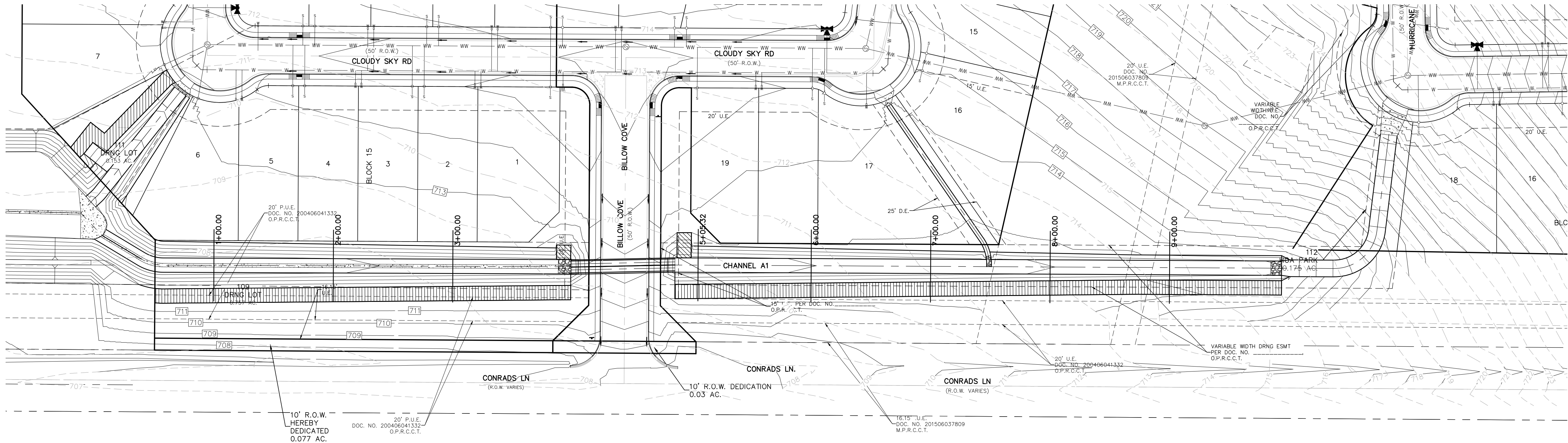
**CHANNEL A1
PLAN & PROFILE**
CLOUD COUNTRY
UNITS 6 & 8

NO.	REVISION	DESCRIPTION	DATE

DATE: AUGUST 2020
DRAWN BY: JMM
DESIGNED BY: JMM
REVIEWED BY: CVH
HMT PROJECT NO.: 056.018

**SHEET
C7.01**

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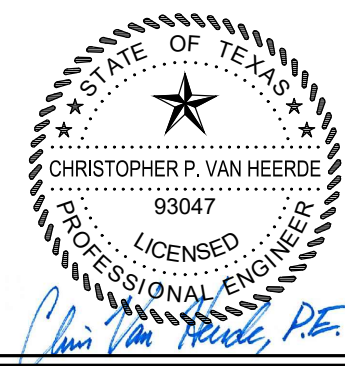


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NEW BRAUNFELS, TX 78130
TBPE FIRM F-10961
TBPLS FIRM 1053600



08/07/2020

**CHANNEL A1
CROSS SECTIONS
CLOUD COUNTRY
UNITS 6 & 8**

NO.	REVISION	DESCRIPTION	REVISION DATE

DATE: AUGUST 2020

DRAWN BY: JMM

DESIGNED BY: JMM

REVIEWED BY: CVH

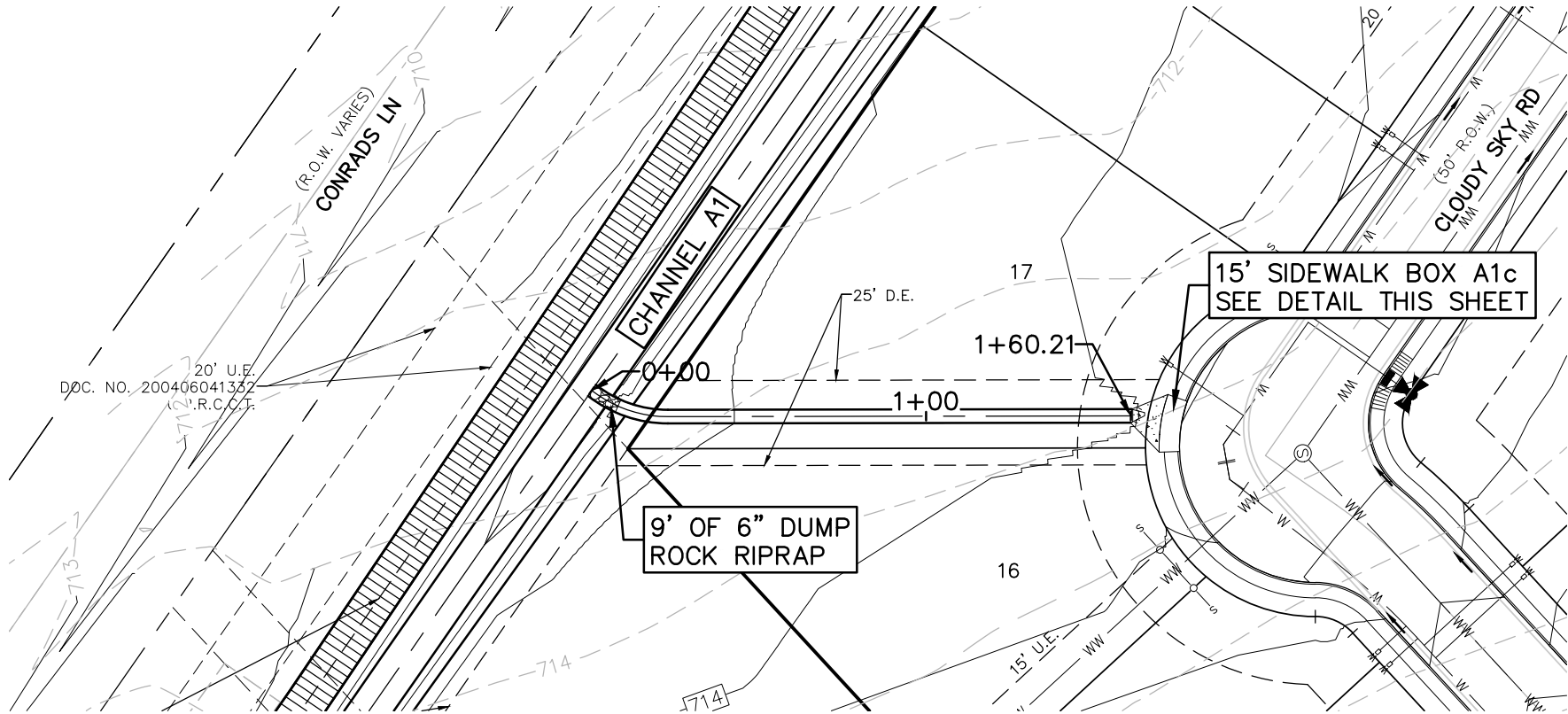
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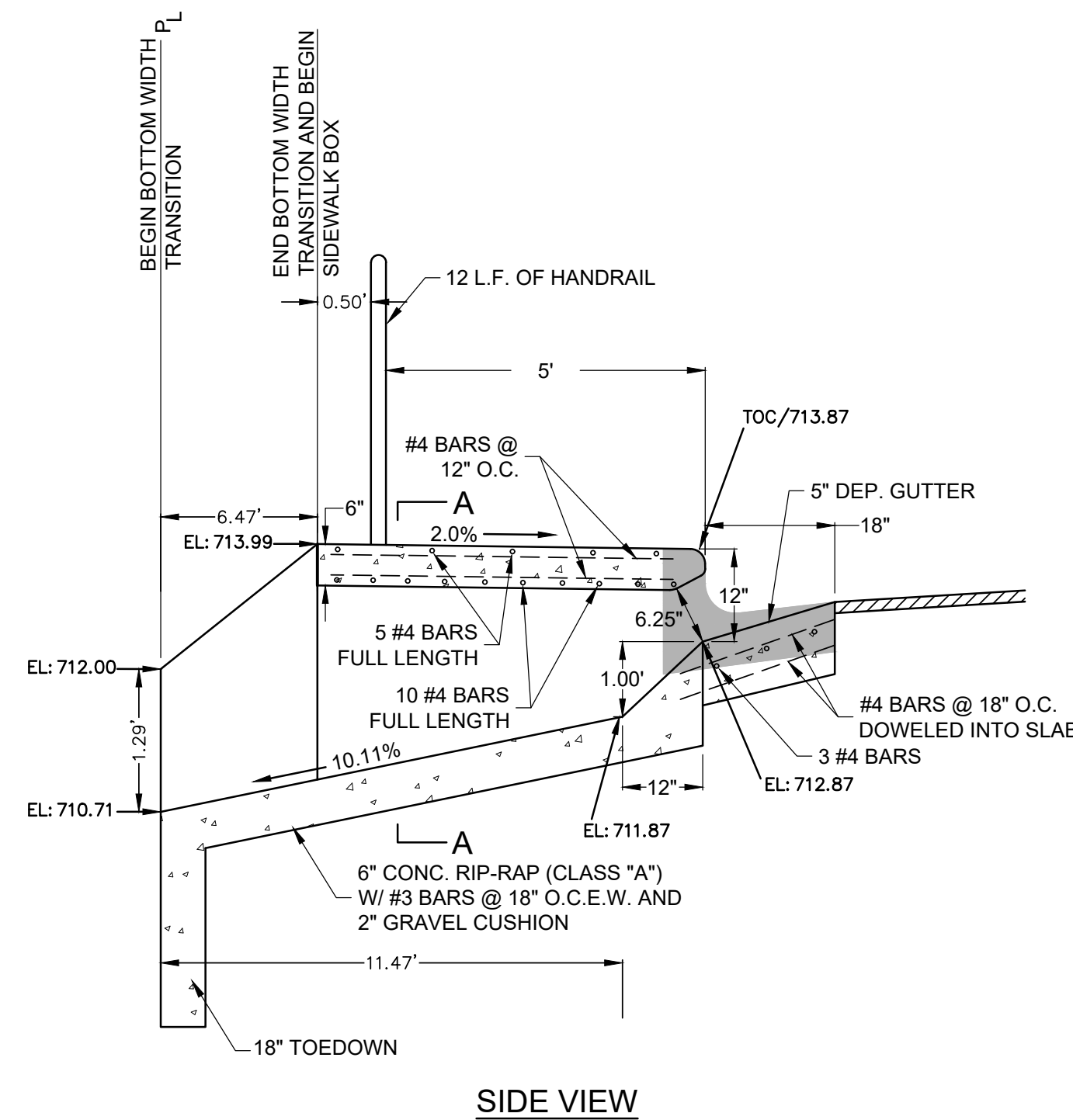
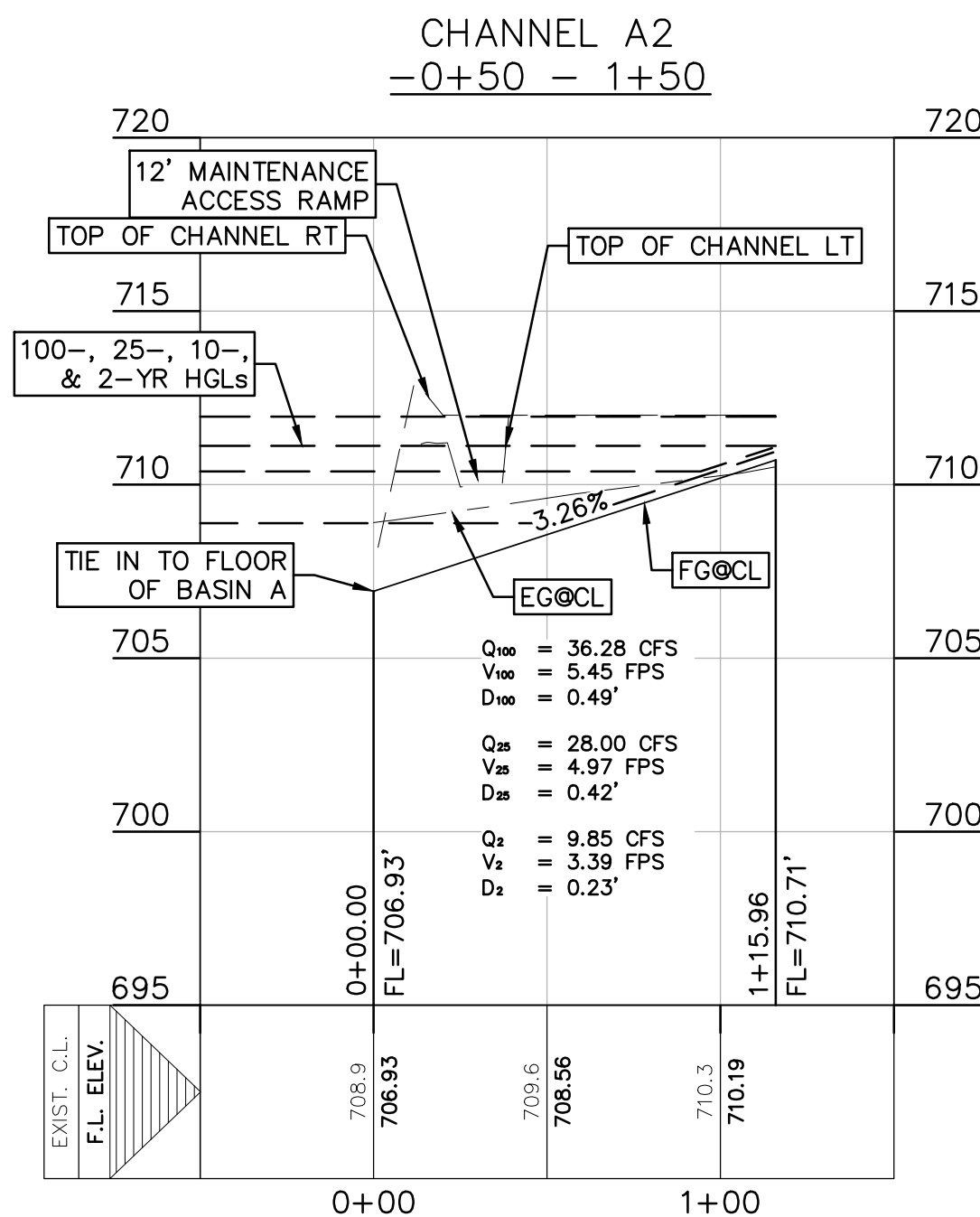
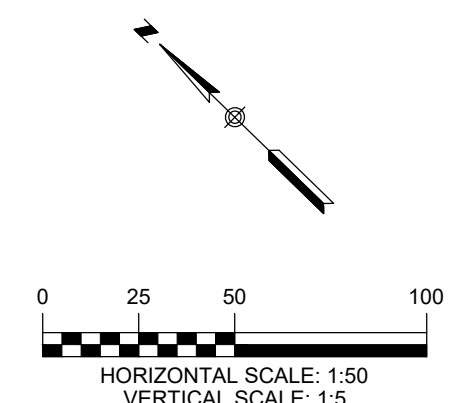
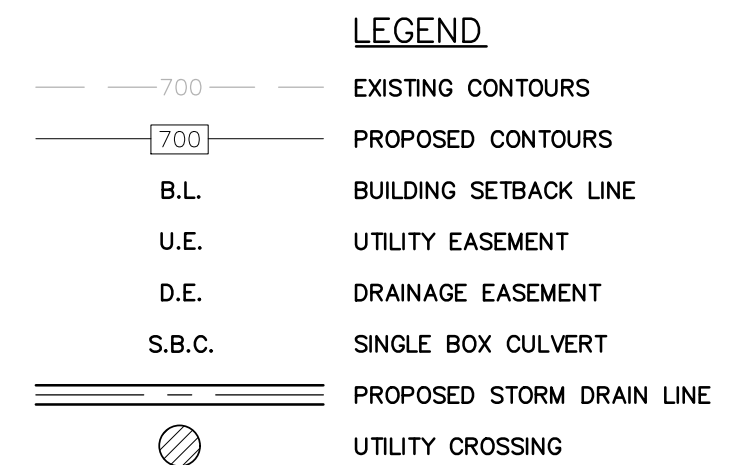
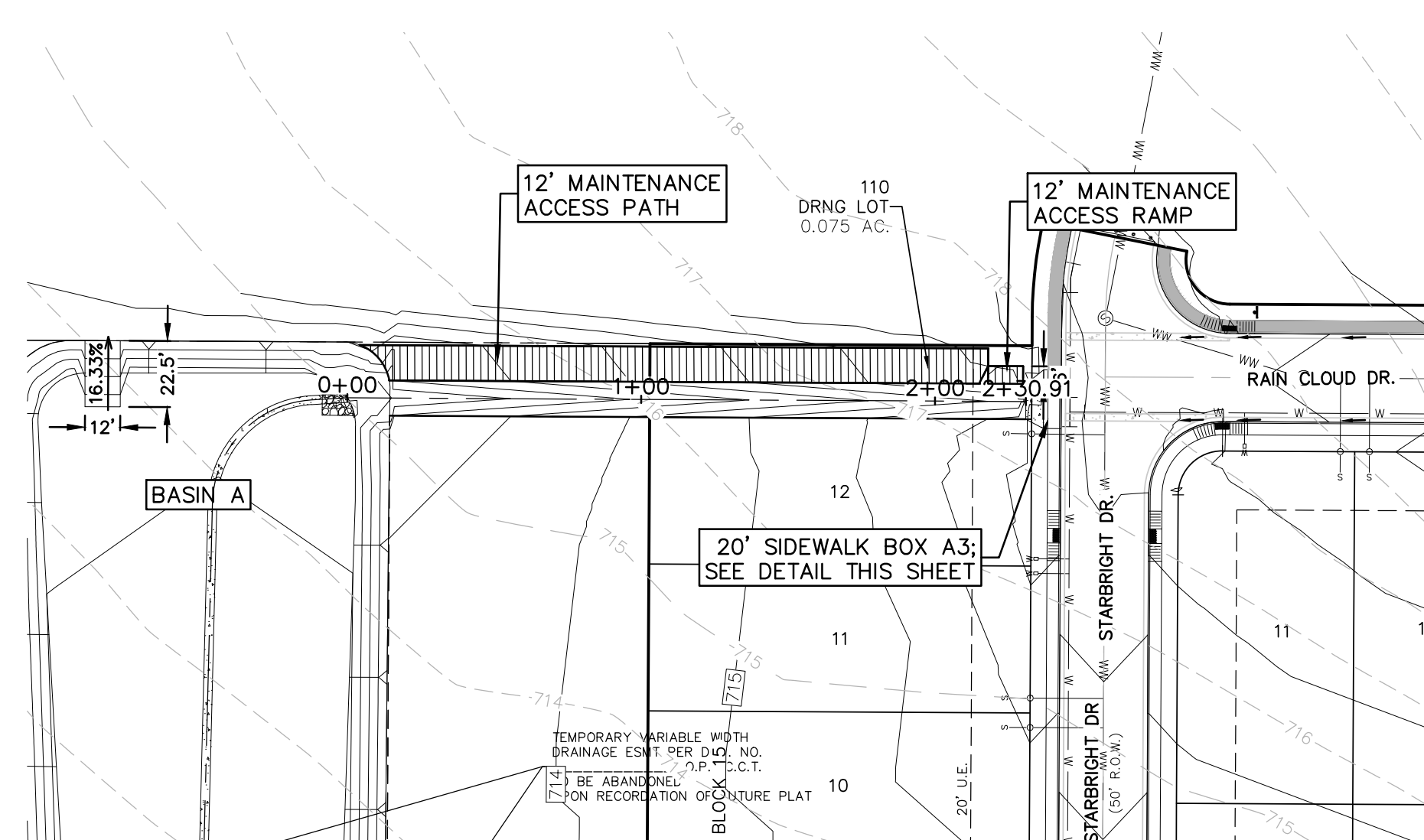
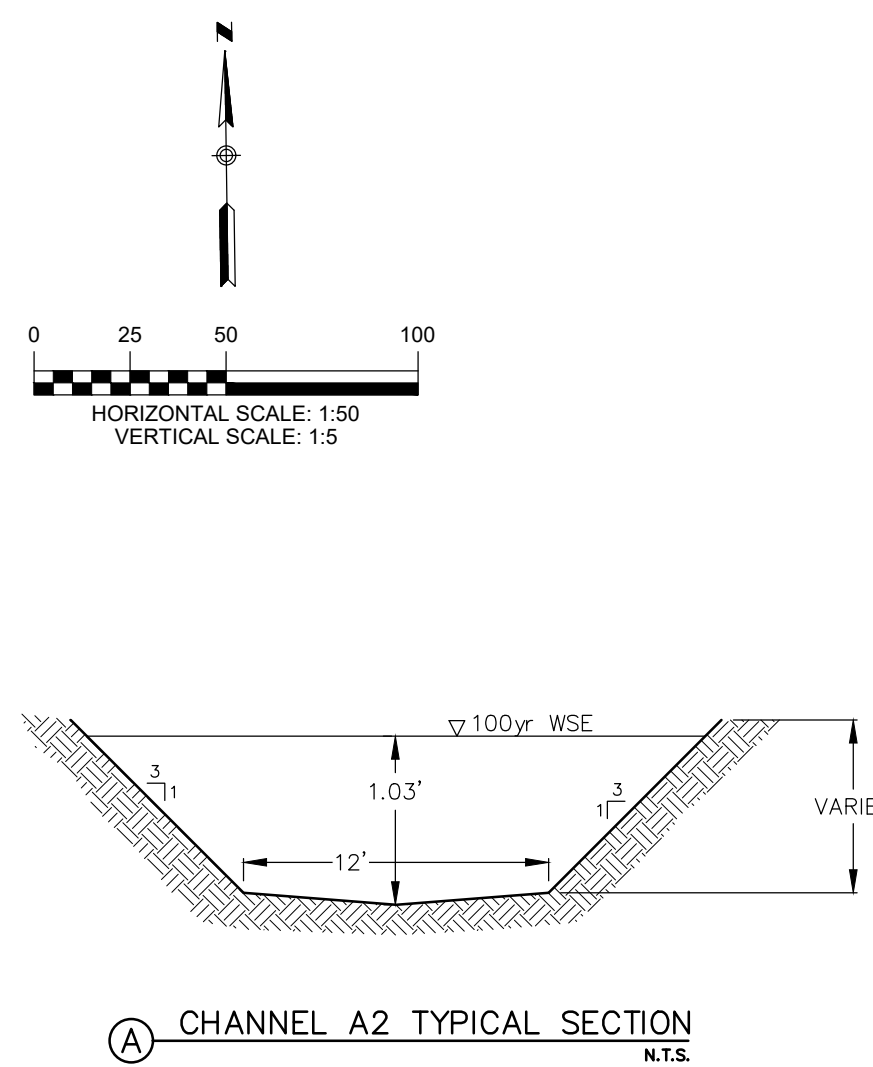
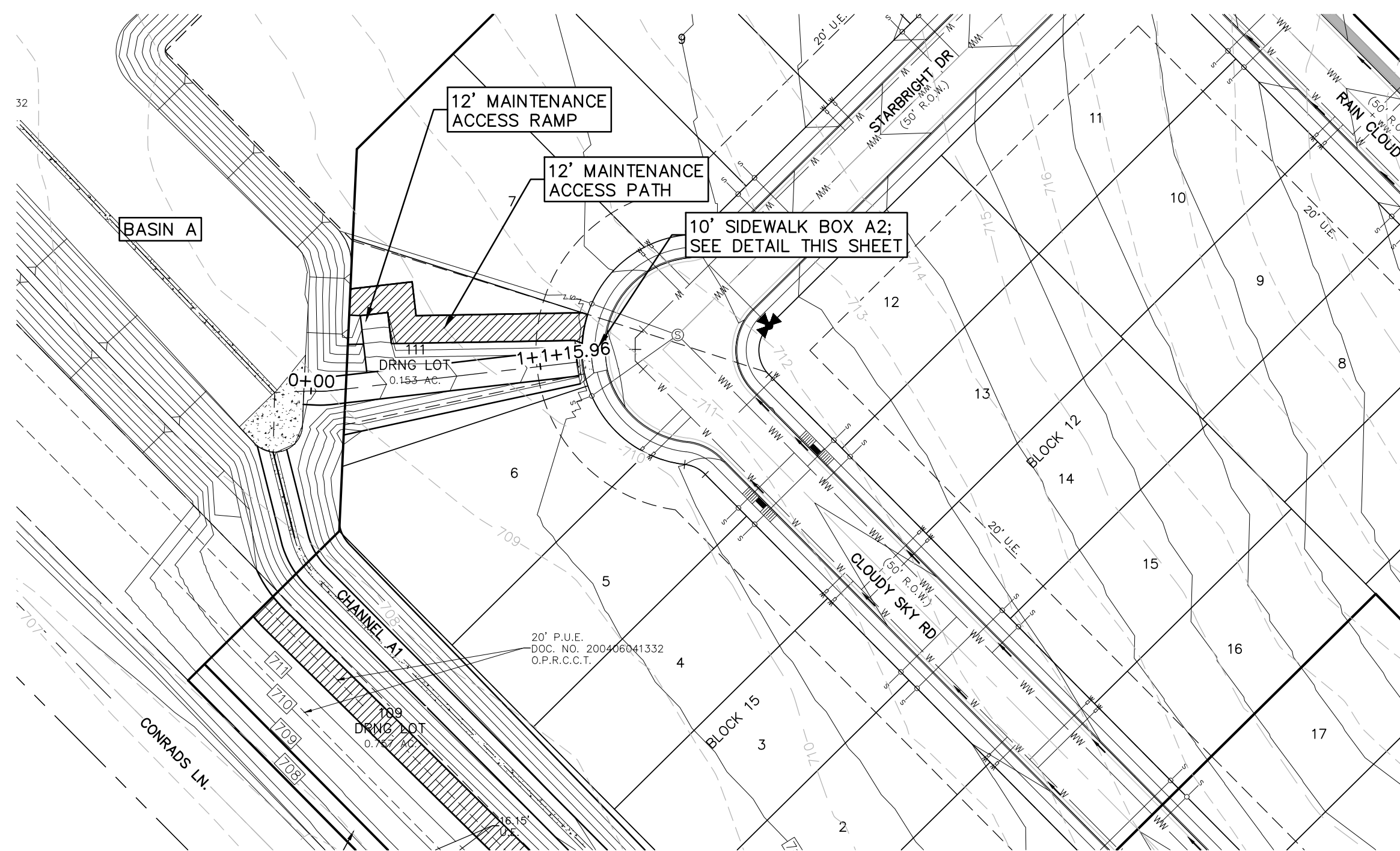
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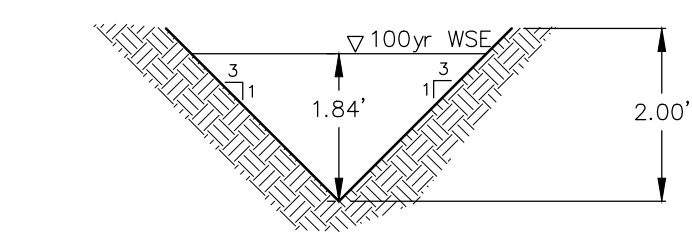
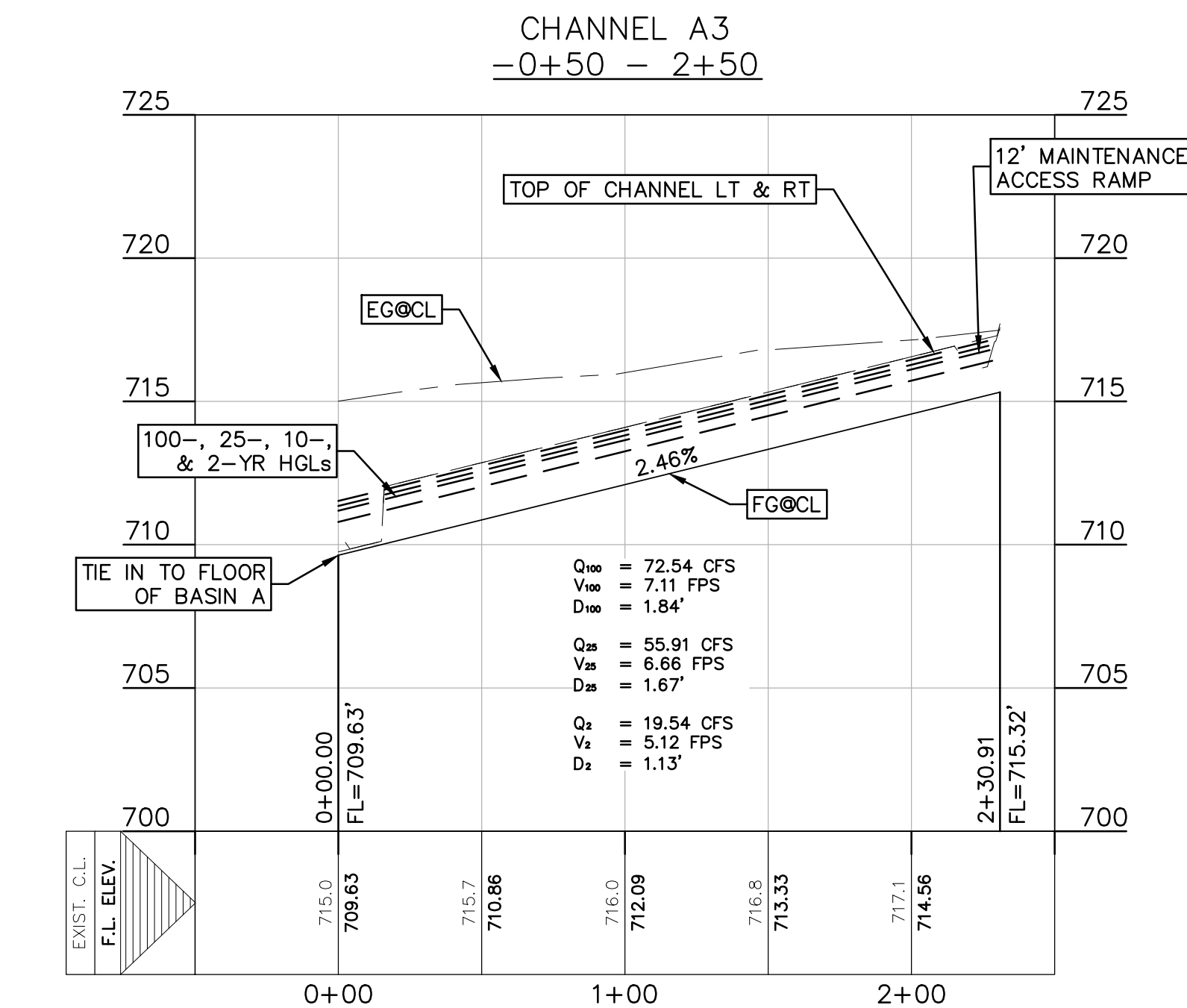
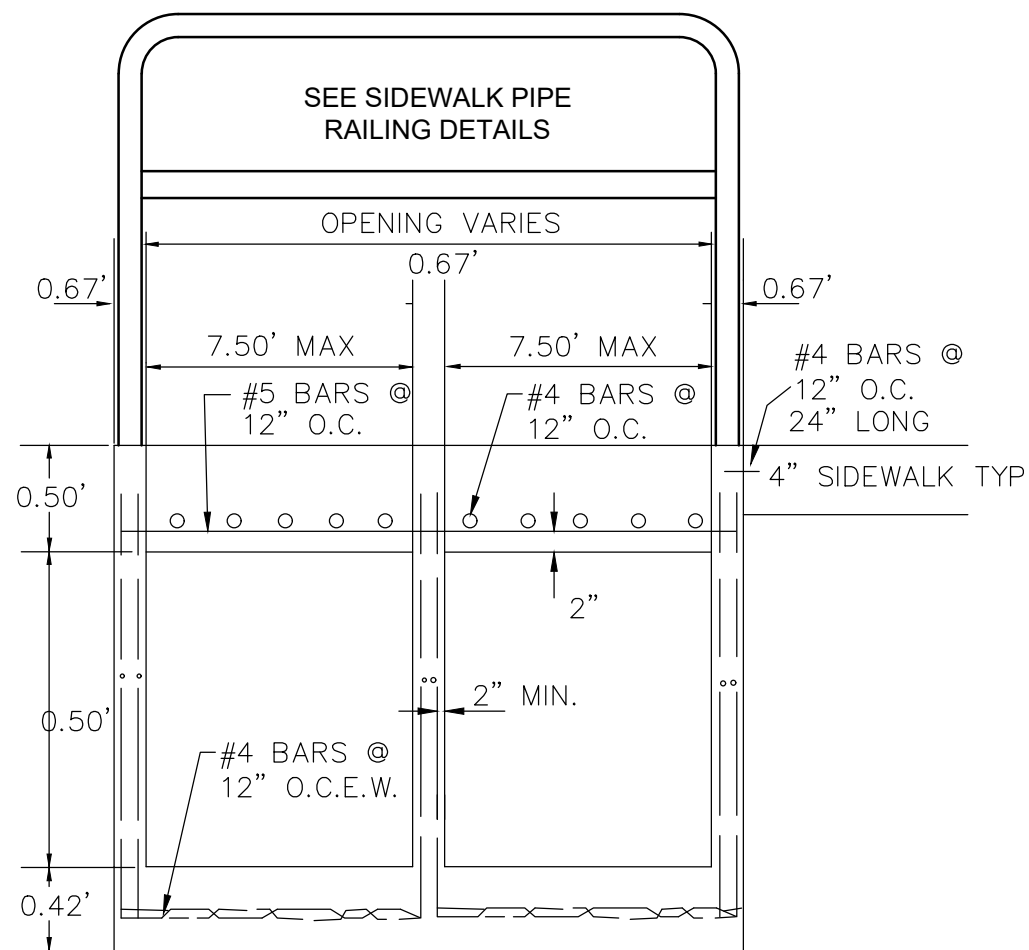
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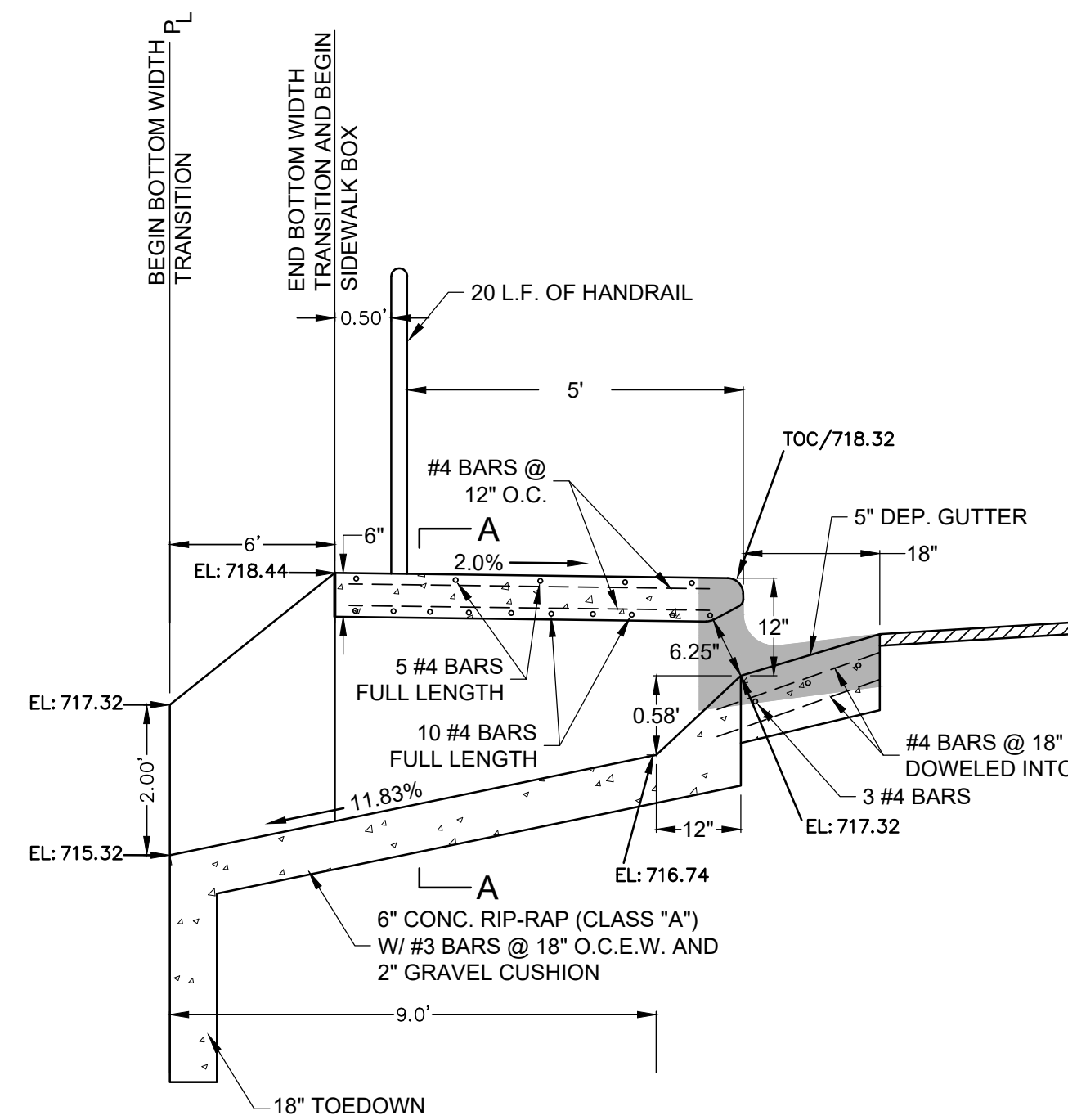




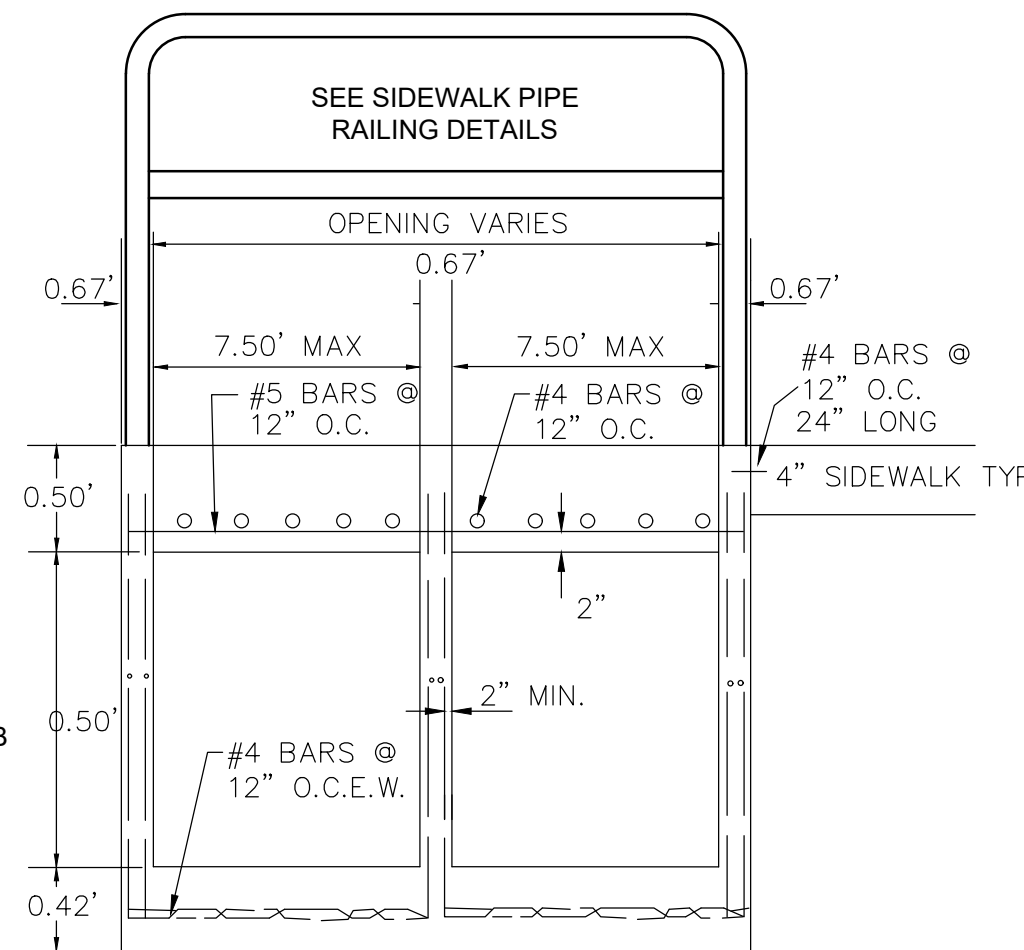
② SIDEWALK BOX A2 DETAIL
N.T.S.



① CHANNEL A3 TYPICAL SECTION
N.T.S.



③ SIDEWALK BOX A3 DETAIL
N.T.S.



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TBP FIRM F-10961
TBP FIRM 1053600



08/07/2020

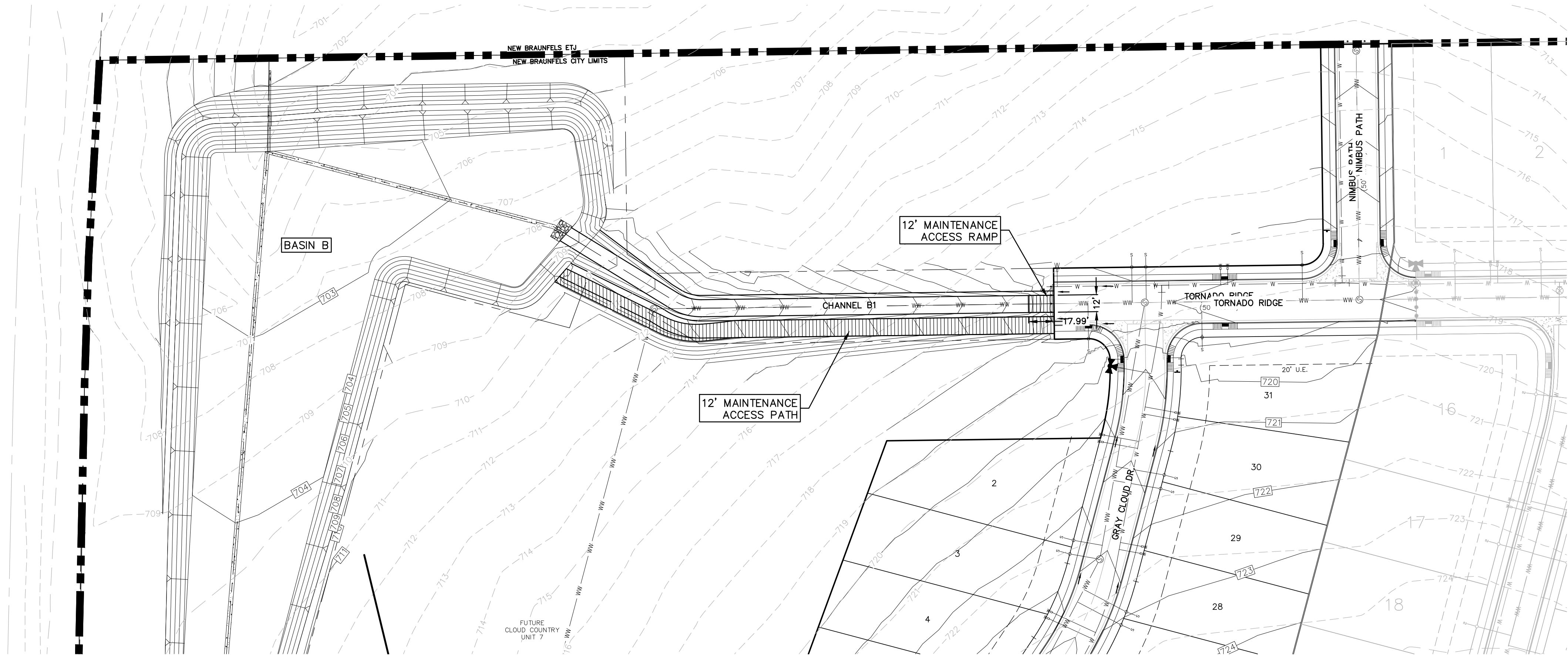
CHANNELS A2 & A3
PLAN & PROFILE
CLOUD COUNTRY
UNITS 6 & 8

NO.	REVISION	DESCRIPTION	DATE

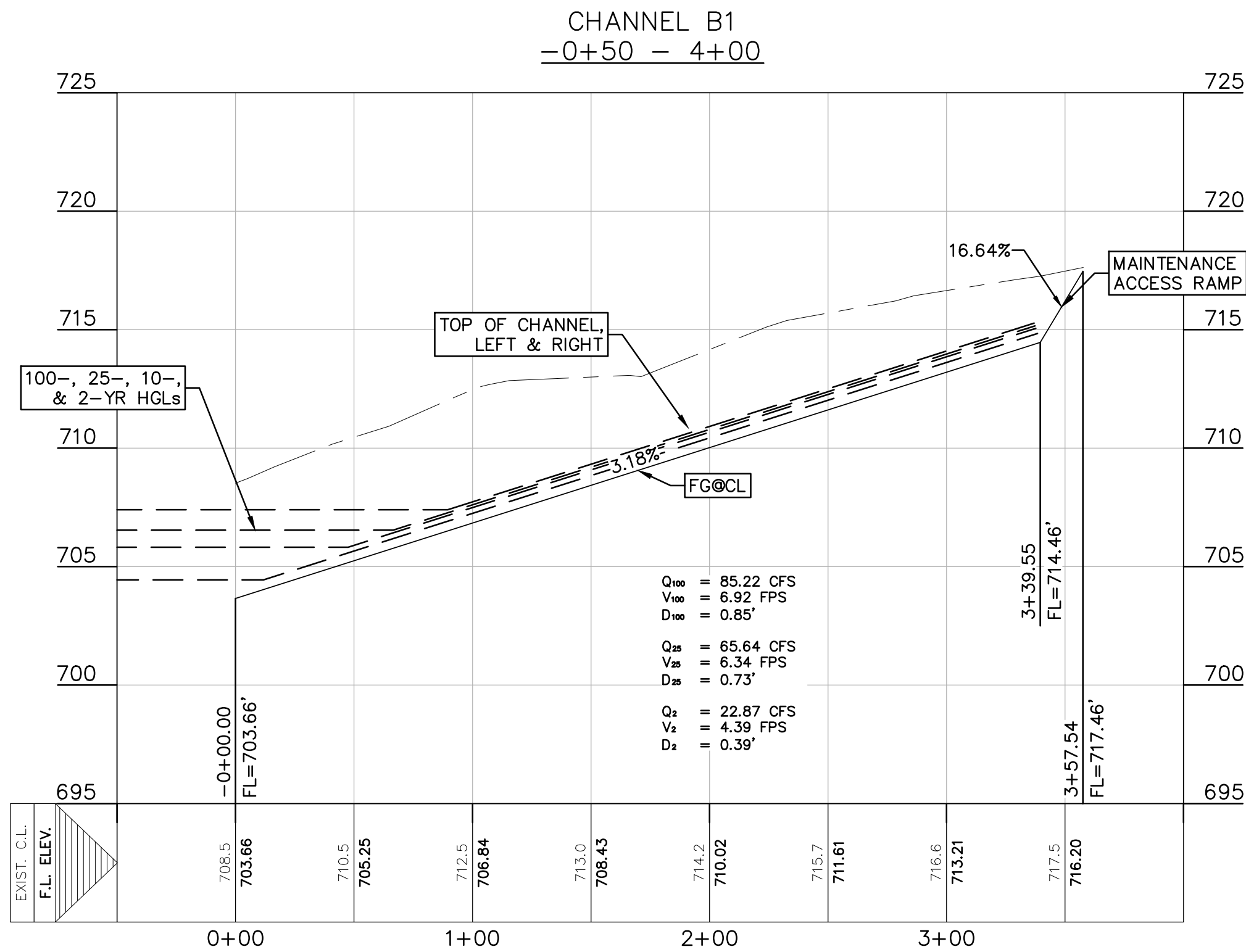
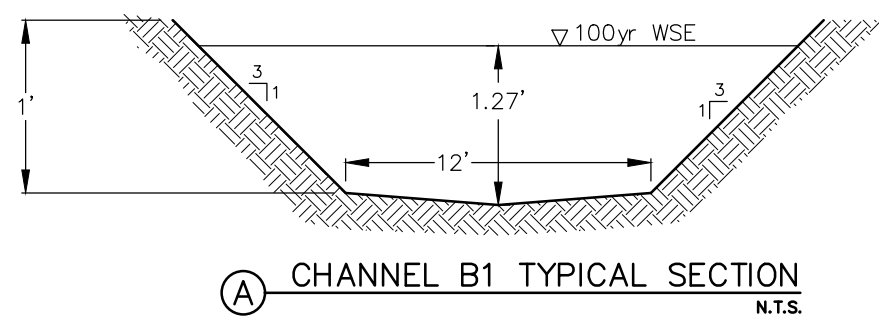
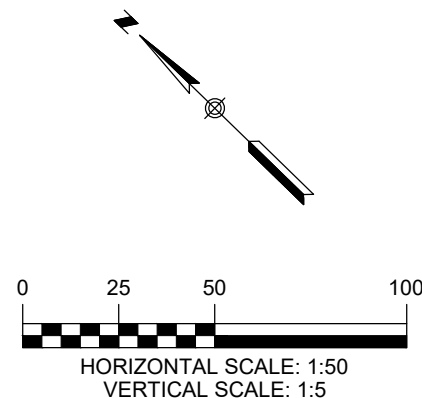
DATE: AUGUST 2020
DRAWN BY: JMM
DESIGNED BY: JMM
REVIEWED BY: CVH
HMT PROJECT NO.: 056.018

SHEET
C7.04

Drawing Name: N:_Projects\056 - Milestone Properties\056.018 - Cloud Country Unit 6\056.018.STRM.dwg User: jghmm Aug 07, 2020 - 12:19pm



- LEGEND**
- EXISTING CONTOURS
 - PROPOSED CONTOURS
 - B.L. BUILDING SETBACK LINE
 - U.E. UTILITY EASEMENT
 - D.E. DRAINAGE EASEMENT
 - S.B.C. SINGLE BOX CULVERT
 - PROPOSED STORM DRAIN LINE
 - UTILITY CROSSING

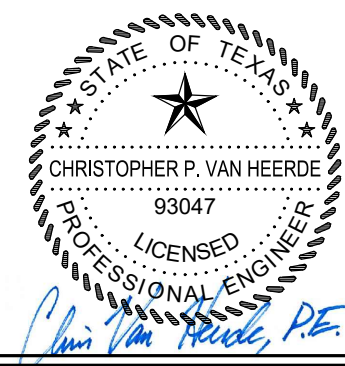


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290 S. CASTELL AVE., STE. 100
NEW BRAUNFELS, TX 78130
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TBPLS FIRM 1053600



08/07/2020

**CHANNEL B1
PLAN & PROFILE
CLOUD COUNTRY
UNITS 6 & 8**

NO.	REVISION	DESCRIPTION	DATE

DATE: AUGUST 2020

DRAWN BY: JMM

DESIGNED BY: JMM

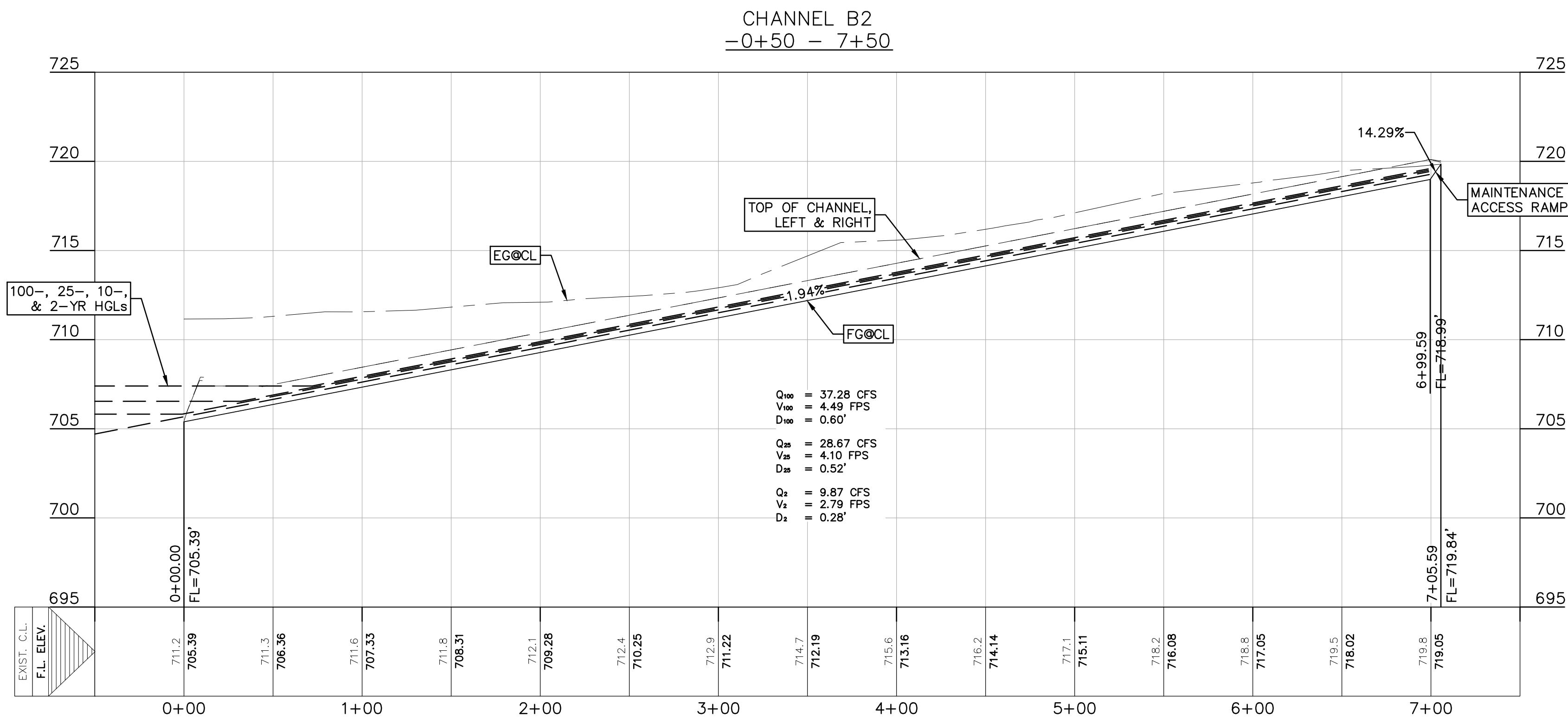
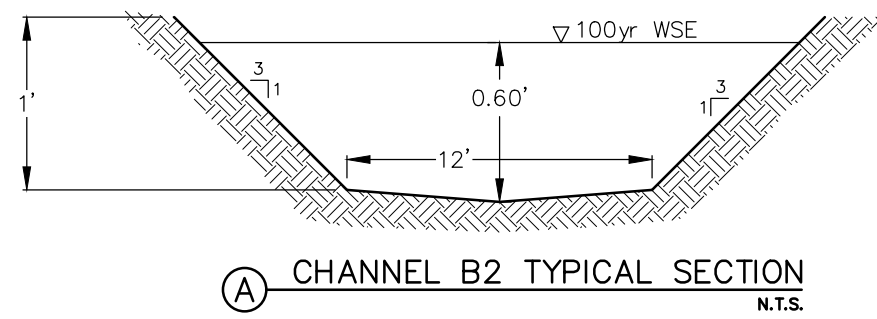
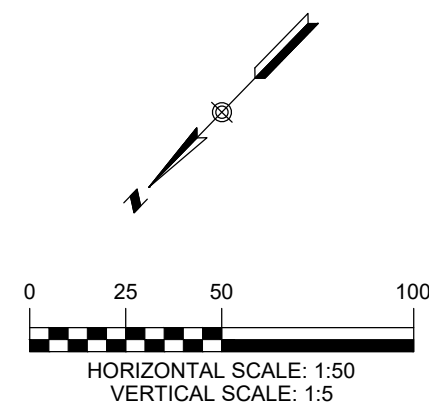
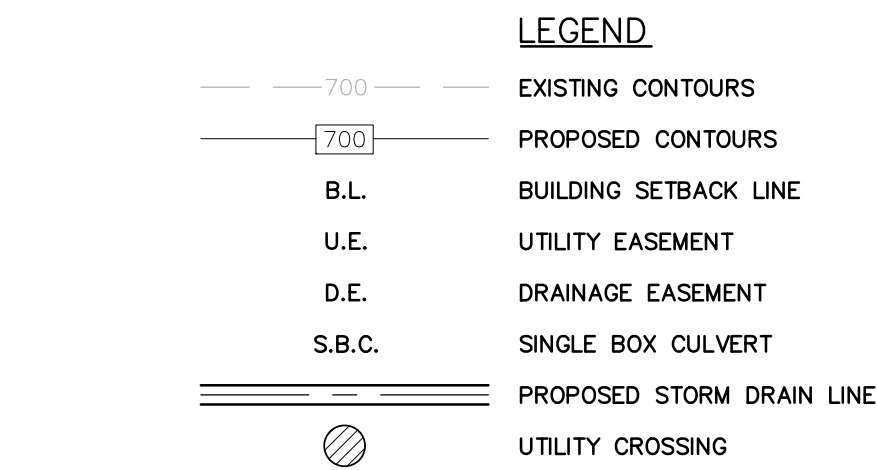
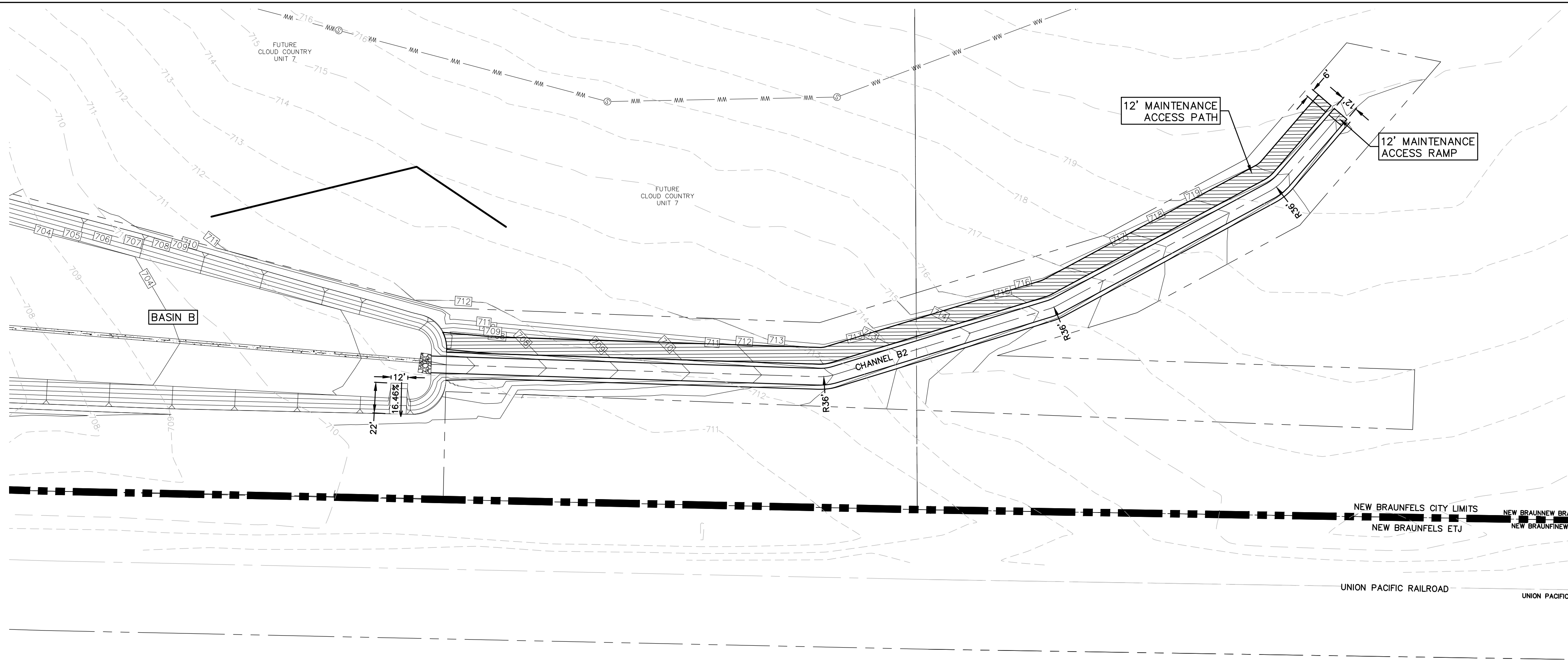
REVIEWED BY: CVH

HMT PROJECT NO.:
056.018

SHEET

C7.05

Drawing Name: N:_Projects\056 - Milestone Properties\056.018 - Cloud Country Unit 6\Cloud Country Unit 6\056.018.STRM.dwg User: jshmm Aug 07, 2020 12:20pm



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TBPLS FIRM 1053600



08/07/2020

**CHANNEL B2
PLAN & PROFILE**
CLOUD COUNTRY
UNITS 6 & 8

NO.	REVISION	DESCRIPTION	REVISION DATE

DATE: AUGUST 2020

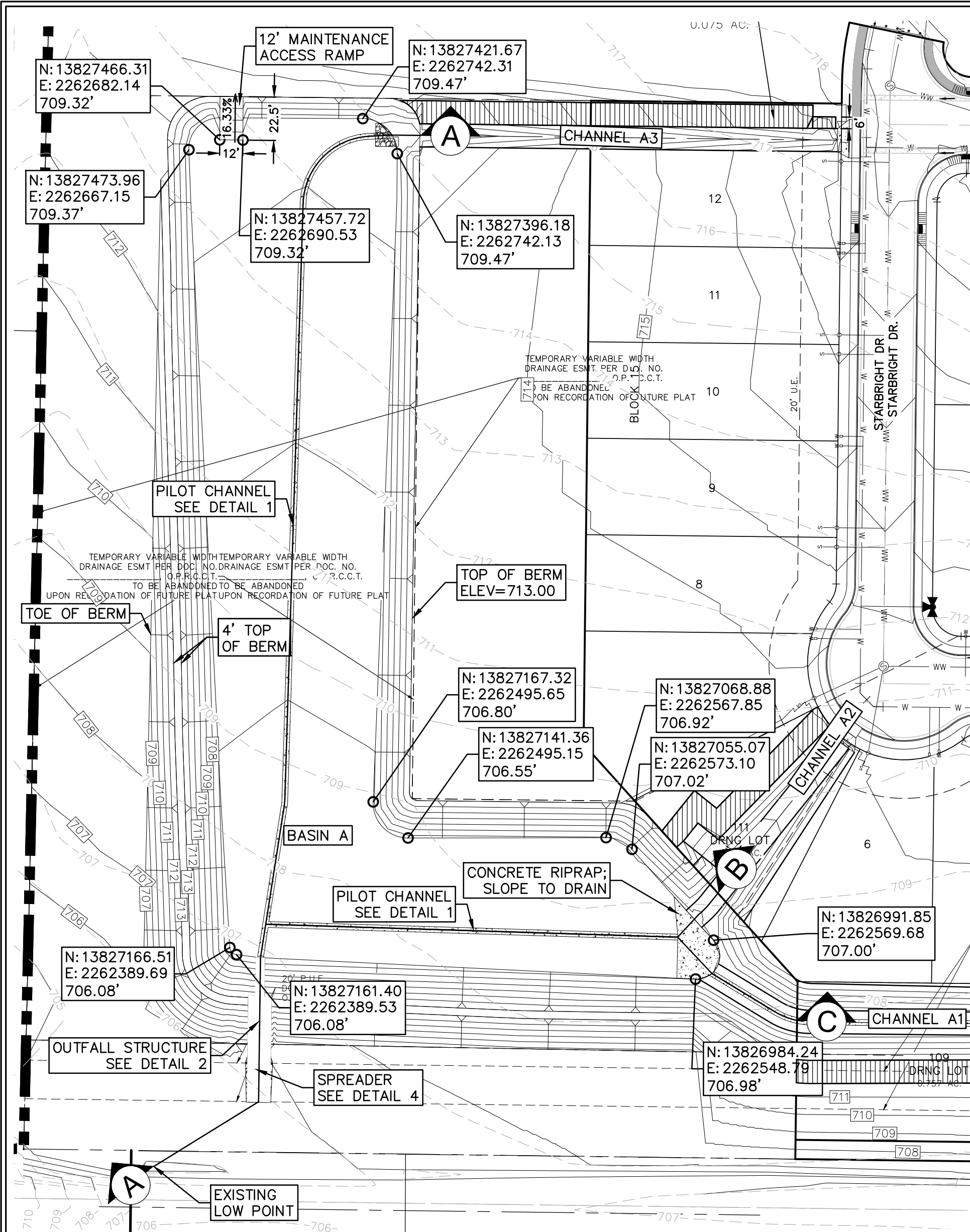
DRAWN BY: JMM

DESIGNED BY: JMM

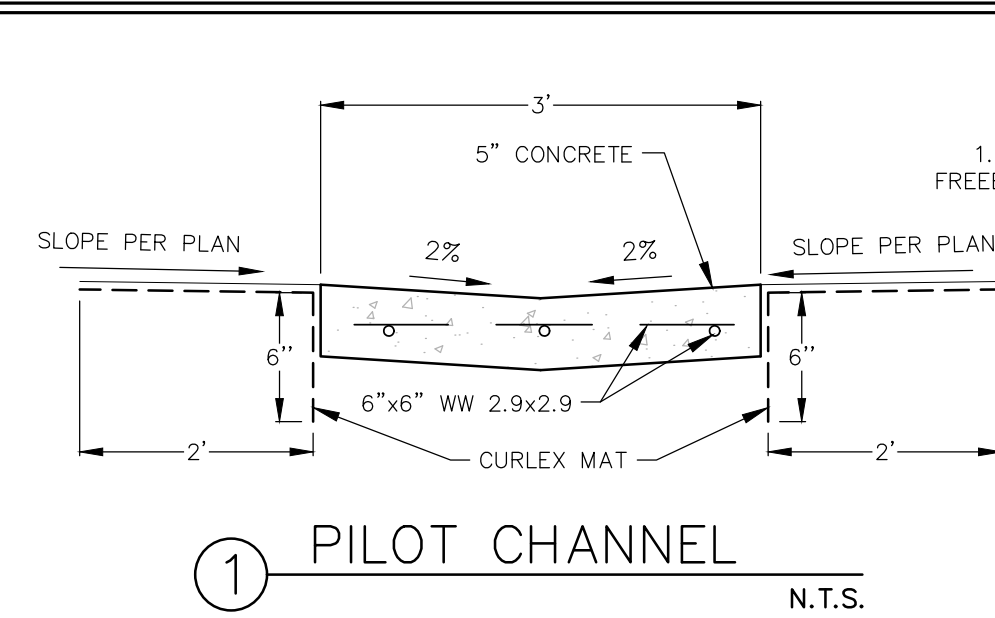
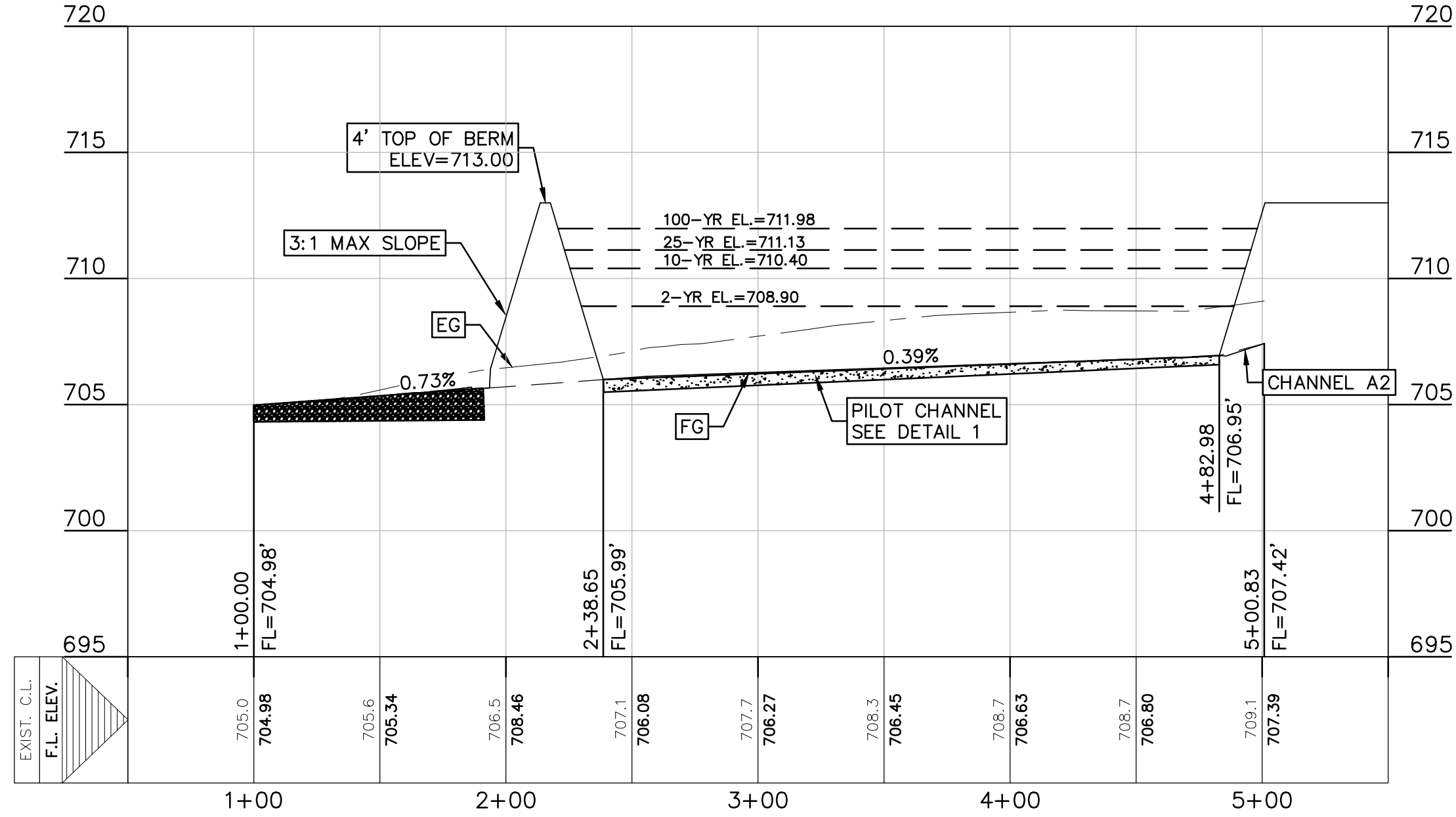
REVIEWED BY: CVH

HMT PROJECT NO.:
056.018

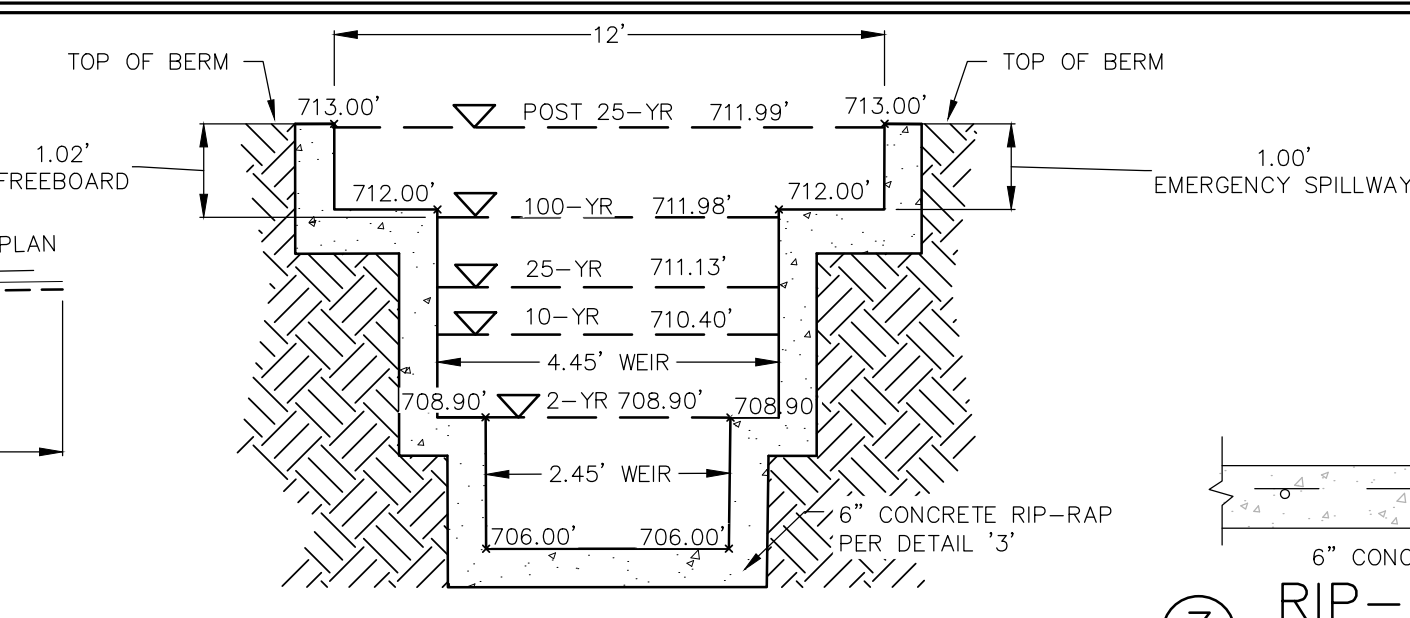
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C7.06



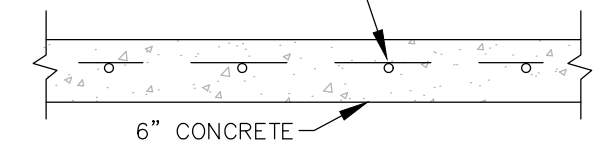
POND A SECTION A-B
0+50 - 5+50



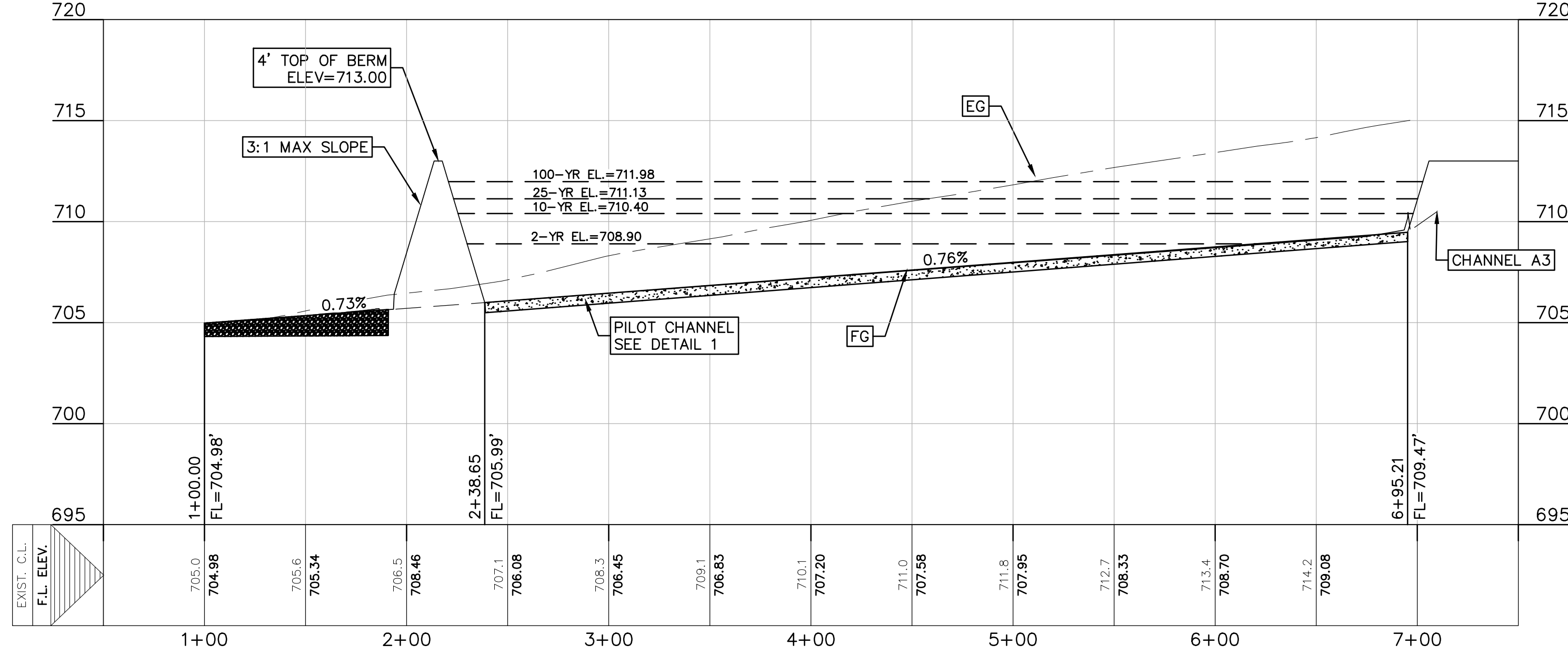
② OUTFALL STRUCTURE
N.T.S.



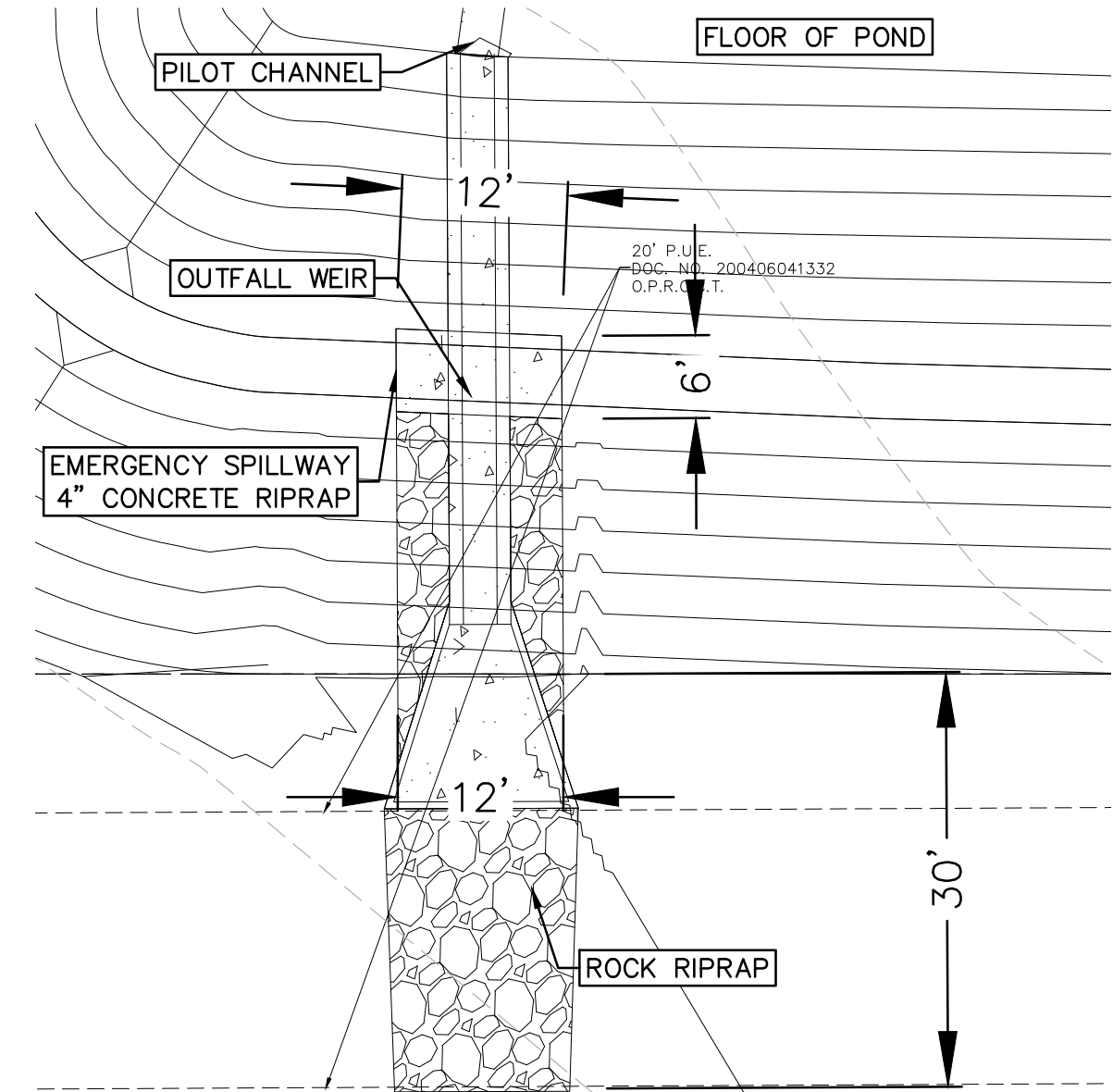
③ RIP-RAP SECTION
N.T.S.



POND A SECTION A-A
0+50 - 7+50



④ SPREADER DETAIL
N.T.S.



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TBPLS FIRM 1053600

HMT
ENGINEERING & SURVEYING

CHRISTOPHER P. VAN HEERDE
93047
LICENSED PROFESSIONAL ENGINEER

08/07/2020

BASIN A

CLOUD COUNTRY

UNITS 6 & 8

NO.	REVISION	DESCRIPTION	DATE

DATE: AUGUST 2020

DRAWN BY: JMM

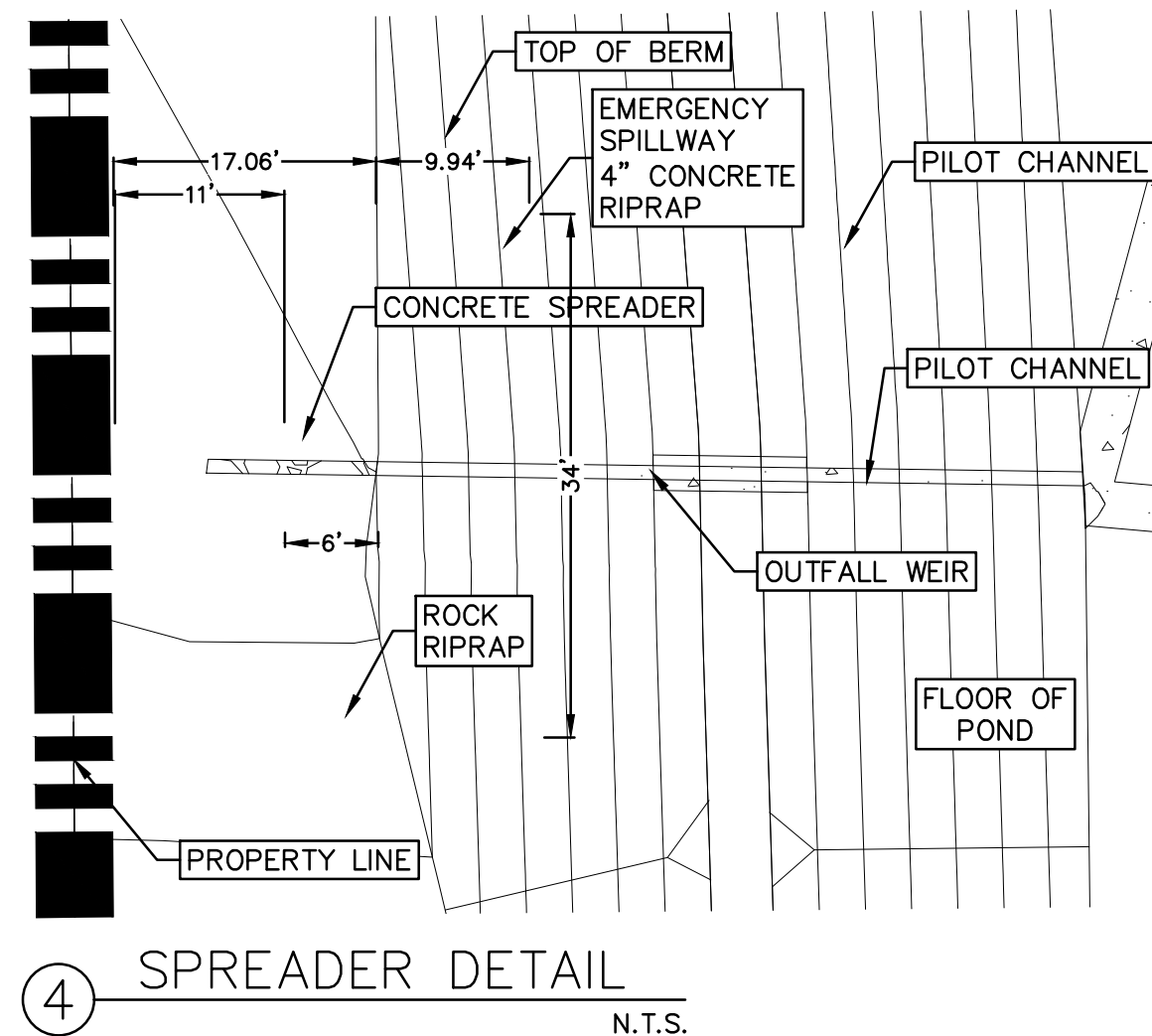
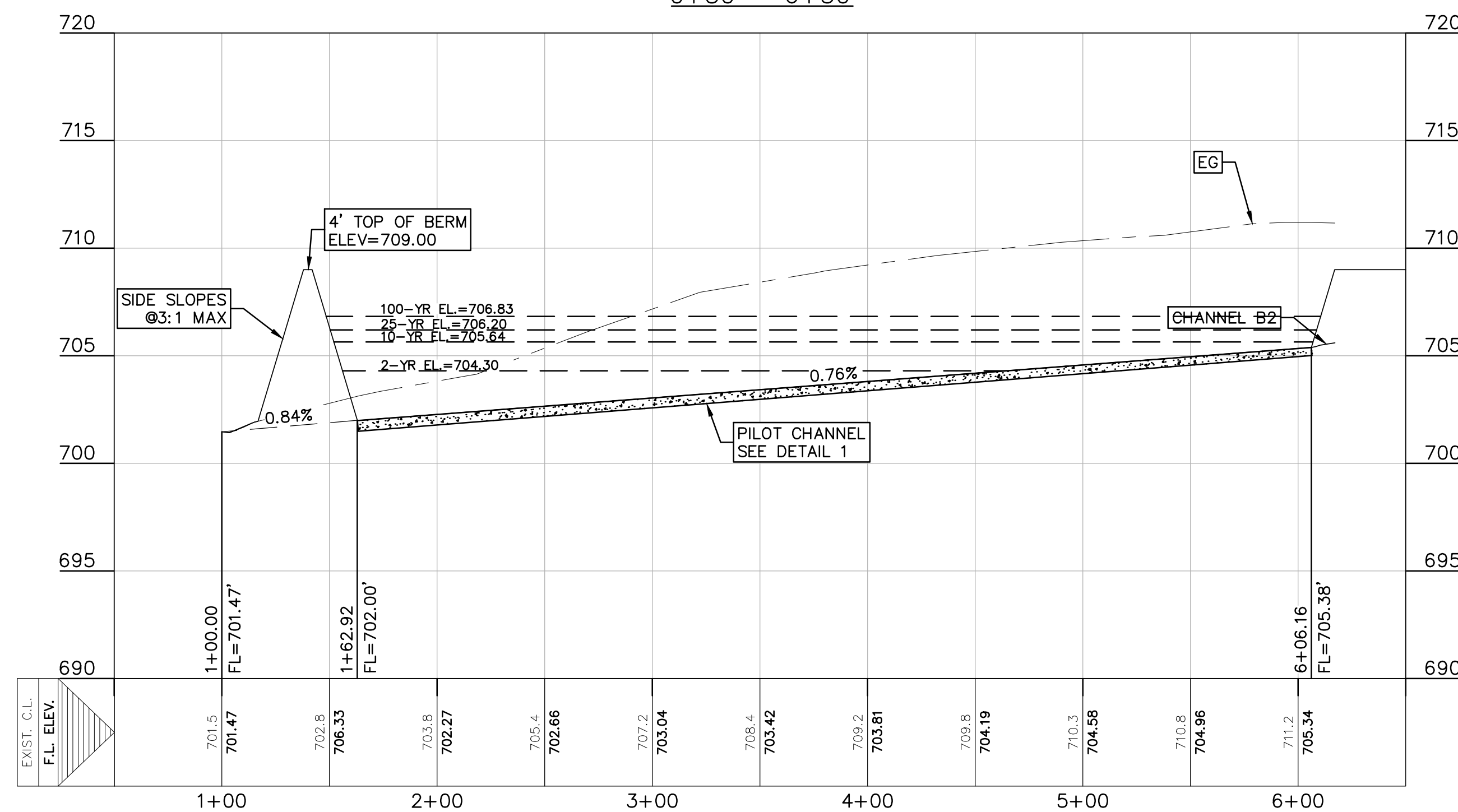
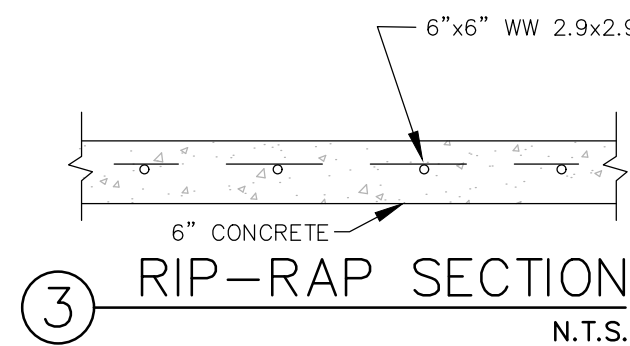
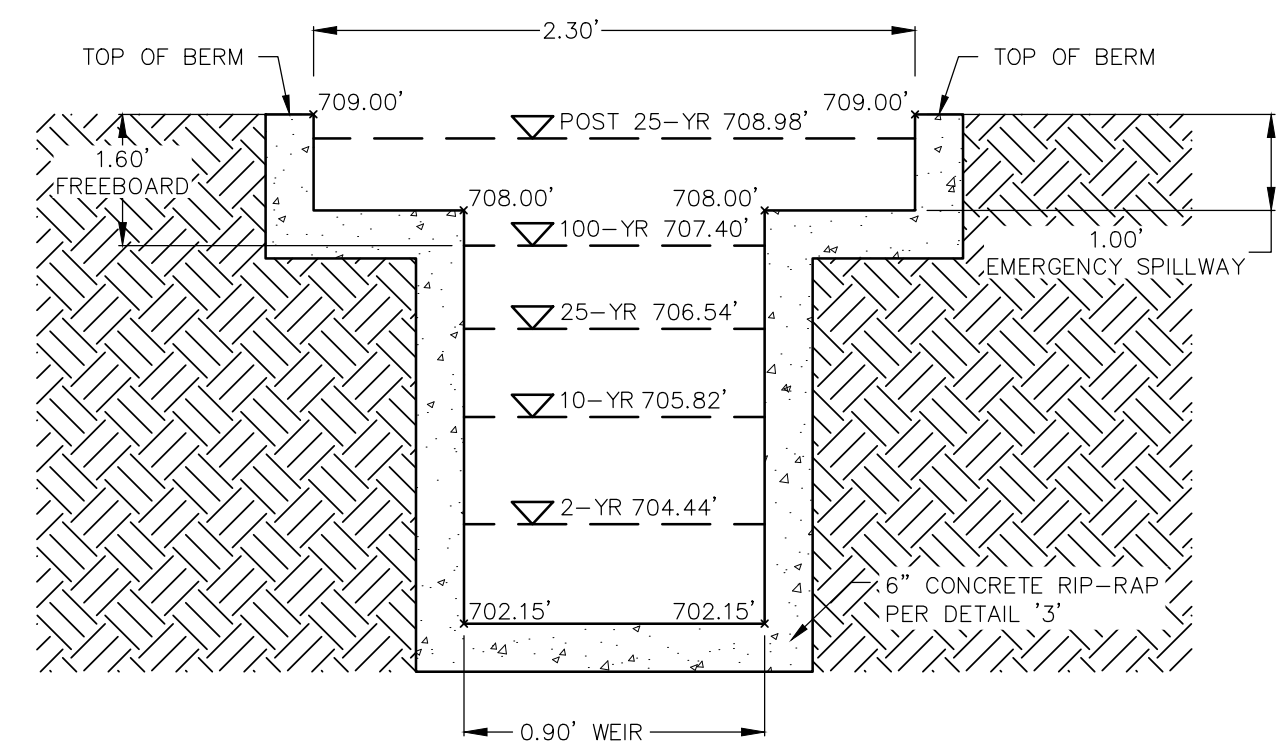
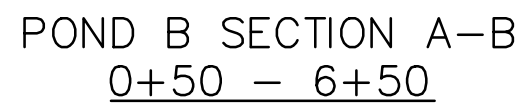
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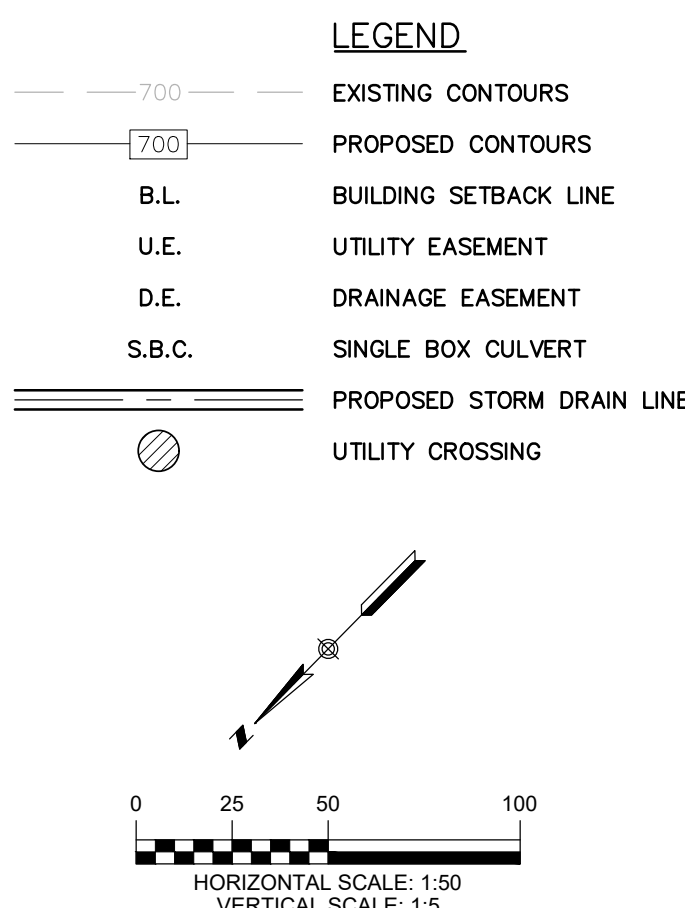
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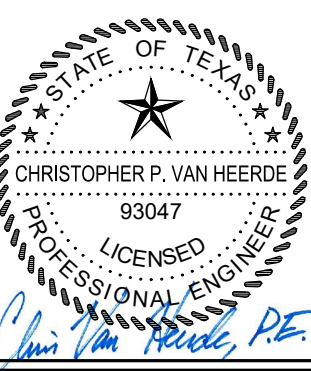


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08/07/2020

BASIN B

CLOUD COUNTRY
UNITS 6 & 8

[illegible]

DATE: AUGUST 2020

DRAWN BY: JMM

DESIGNED BY: JMM

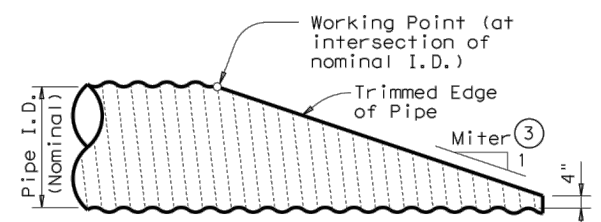
REVIEWED BY: CVH

056 018

SHEET

C7.08

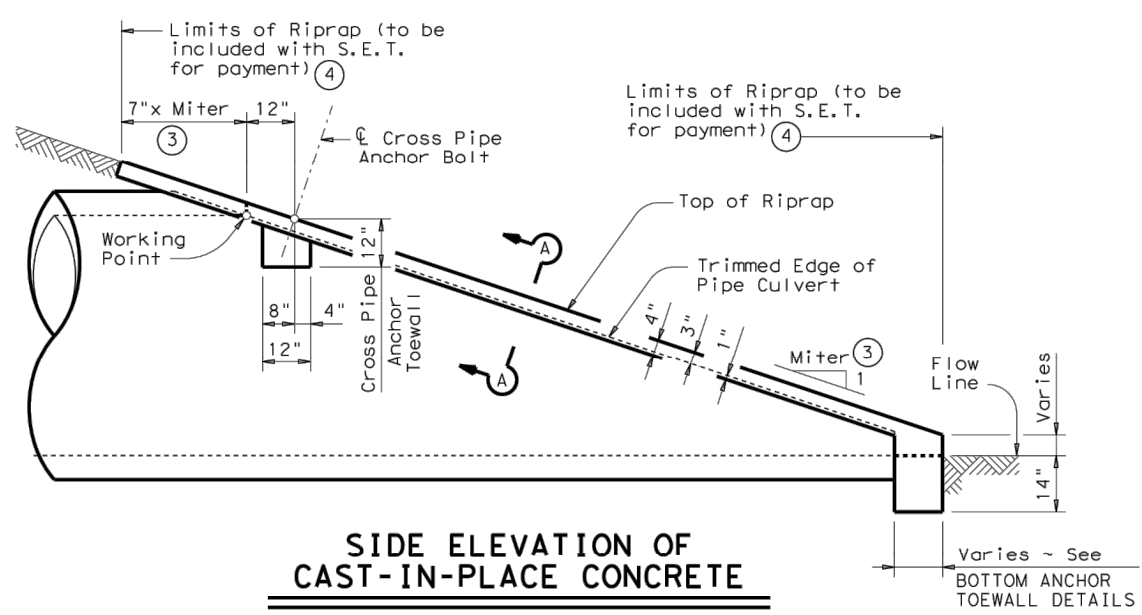
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NOTE: All Pipe Runners, calculations, and dimensions are based on the pipe culverts mitered as shown in this detail. Alternate styles of mitered ends will require that appropriate adjustments be made to the values presented on this standard.

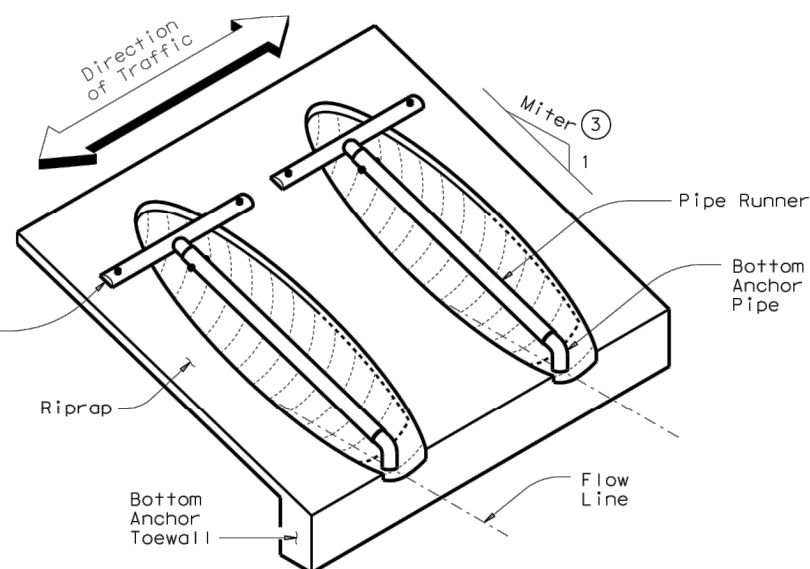
SIDE ELEVATION OF TYPICAL PIPE CULVERT MITER

(Showing Corrugated Metal Pipe Culvert. Details of Concrete Pipe Culvert are similar.)



SIDE ELEVATION OF CAST-IN-PLACE CONCRETE

(Showing Concrete Pipe Culvert. Details of Corrugated Metal Pipe Culvert are similar. Pipe Runners not shown for clarity.)



ISOMETRIC VIEW OF TYPICAL INSTALLATION

(Showing installation with no skew.)

CROSS PIPE LENGTHS & PIPE RUNNER LENGTHS ①②												
Nominal Culvert I.D.	Pipe Culvert Spacing	Cross Pipe Length	Pipe Runner Length									
			3:1 Side Slope				4:1 Side Slope				6:1 Side Slope	
			0° Skew	15° Skew	30° Skew	45° Skew	0° Skew	15° Skew	30° Skew	45° Skew	0° Skew	15° Skew
24"	1'- 7"	3'- 5"	N/A	N/A	N/A	5'- 10"	N/A	N/A	N/A	8'- 1"	N/A	N/A
27"	1'- 8"	3'- 8"	N/A	N/A	5'- 5"	6'- 11"	N/A	N/A	7'- 7"	9'- 7"	N/A	N/A
30"	1'- 10"	3'- 11"	N/A	N/A	6'- 4"	8'- 0"	N/A	N/A	8'- 9"	11'- 0"	N/A	N/A
33"	1'- 11"	4'- 2"	6'- 2"	6'- 5"	7'- 3"	9'- 1"	8'- 6"	8'- 10"	10'- 0"	12'- 5"	13'- 3"	13'- 9"
36"	2'- 1"	4'- 5"	6'- 11"	7'- 3"	8'- 2"	10'- 2"	9'- 6"	9'- 11"	11'- 2"	13'- 10"	14'- 9"	15'- 3"
42"	2'- 4"	4'- 11"	8'- 10"	9'- 11"	12'- 4"	11'- 7"	12'- 0"	13'- 6"	16'- 8"	17'- 9"	18'- 5"	20'- 8"
48"	2'- 7"	5'- 5"	10'- 1"	10'- 5"	11'- 9"	N/A	13'- 7"	14'- 2"	15'- 10"	N/A	20'- 9"	21'- 6"
54"	3'- 0"	5'- 11"	11'- 8"	12'- 1"	N/A	N/A	15'- 8"	16'- 3"	N/A	N/A	23'- 10"	24'- 8"
60"	3'- 3"	6'- 5"	13'- 3"	N/A	N/A	N/A	17'- 9"	N/A	N/A	N/A	26'- 10"	N/A

TYPICAL PIPE CULVERT MITERS ③				
Side Slope	0° Skew	15° Skew	30° Skew	45° Skew
3:1	3:1	3,106:1	3,464:1	4,243:1
4:1	4:1	4,141:1	4,619:1	5,657:1
6:1	6:1	6,212:1	6,928:1	8,485:1

CONDITIONS WHERE PIPE RUNNERS ARE NOT REQUIRED ②			
Nominal Culvert I.D.	Single Pipe Culvert	Multiple Pipe Culverts	
12" thru 21"	Skews thru 45°	Skews thru 45°	
24"	Skews thru 45°	Skews thru 30°	
27"	Skews thru 30°	Skews thru 15°	
30"	Skews thru 15°	Always required	
33"	Skews thru 15°	Always required	
36"	Normal (No Skew)	Always required	
42" to 60"	Always required	Always required	

STANDARD PIPE SIZES & MAX PIPE RUNNER LENGTHS ①			
Pipe Size	Pipe I.D.	Pipe Runner Length	Max Pipe Runner Length
2" STD	2,375"	2,067"	N/A
3" STD	3,500"	3,068"	10'- 0"
4" STD	4,500"	4,026"	19'- 8"
5" STD	5,563"	5,047"	34'- 2"

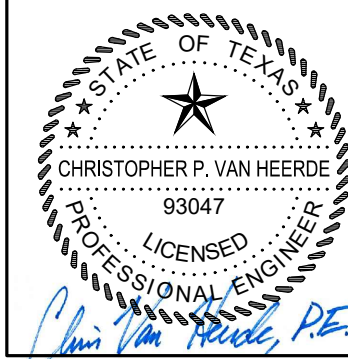
ESTIMATED CONCRETE RIPRAP QUANTITIES (CY) ⑤												
Nominal Culvert I.D.	3:1 Side Slope				4:1 Side Slope				6:1 Side Slope			
	0° Skew	15° Skew	30° Skew	45° Skew	0° Skew	15° Skew	30° Skew	45° Skew	0° Skew	15° Skew	30° Skew	45° Skew
12"	0.4	0.4	0.5	0.5	0.5	0.5	0.5	0.6	0.7	0.7	0.7	0.8
15"	0.5	0.5	0.5	0.6	0.6	0.6	0.6	0.7	0.7	0.7	0.8	0.9
18"	0.5	0.5	0.6	0.6	0.6	0.7	0.7	0.8	0.8	0.8	0.9	1.0
21"	0.6	0.6	0.6	0.7	0.7	0.7	0.8	0.9	0.9	0.9	1.0	1.2
24"	0.6	0.7	0.7	0.8	0.8	0.8	0.8	1.0	1.0	1.0	1.1	1.3
27"	0.7	0.7	0.8	0.9	0.8	0.9	0.9	1.1	1.1	1.1	1.2	1.4
30"	0.8	0.8	0.8	0.9	0.9	0.9	1.0	1.2	1.2	1.2	1.3	1.6
33"	0.8	0.8	0.9	1.0	1.0	1.0	1.1	1.3	1.3	1.3	1.5	1.7
36"	0.9	0.9	0.9	1.1	1.1	1.1	1.2	1.4	1.4	1.4	1.6	1.8
42"	1.0	1.0	1.1	1.3	1.2	1.3	1.3	1.6	1.6	1.7	1.8	2.1
48"	1.1	1.1	1.2	N/A	1.4	1.4	1.5	N/A	1.9	1.9	2.1	N/A
54"	1.3	1.3	N/A	N/A	1.6	1.6	N/A	N/A	2.1	2.1	N/A	N/A
60"	1.4	N/A	N/A	N/A	1.7	N/A	N/A	N/A	2.3	N/A	N/A	N/A

- Size of Pipe Runner shall be as shown in the tables. Cross Pipe shall be the same size as the Pipe Runner. Cross Pipe Stub Out and Bottom Anchor Pipe shall be the next smaller size pipe as shown in the STANDARD PIPE SIZES table.
- This standard allows for the placement of only one pipe runner across each culvert pipe opening. In order to limit the clear opening to be traversed by an errant vehicle, the following conditions must be met:
For 60" culvert pipes, the skew must not exceed 0°.
For 54" culvert pipes, the skew must not exceed 15°.
For 48" culvert pipes, the skew must not exceed 30°.
For all culvert pipe sizes 42" and less, the skew must not exceed 45°.
- If the above conditions cannot be met, the designer should consider using a safety end treatment with flared wings. For further information, refer to the TexasDOT Roadway Design Manual.
- Miter = Slope of Mitered Pipe Culvert End
- Riprap placed beyond the limits shown will be paid as Concrete Riprap in accordance with Item 432, "Riprap".
- Quantities shown are for one end of one reinforced Concrete Pipe Culvert. For multiple Pipe Culverts or for Corrugated Metal Pipe Culverts, quantities will need to be adjusted. Riprap quantities are for Contractor's information only.

SHEET 1 OF 2

		Bridge Division Standards	
SAFETY END TREATMENT FOR 12" DIA TO 60" DIA PIPE CULVERTS TYPE II - CROSS DRAINAGE			
DATE: September 2019	BY: JPH	DATE: February 2019	BY: JPH
REVISIONS	DATE	DESCRIPTION	DATE
11-10-2019	08/07/2020	REVISIONS	08/07/2020

290 S. CASTELL AVE., STE. 100
NEW BRAUNFELS, TX 78130
TBPE FIRM F-10961
TBPLS FIRM 1053600



08/07/2020

STORM DETAILS (1 OF 2)

CLOUD COUNTRY
UNITS 6 & 8

NO.	REVISION	DESCRIPTION	DATE

DATE: AUGUST 2020

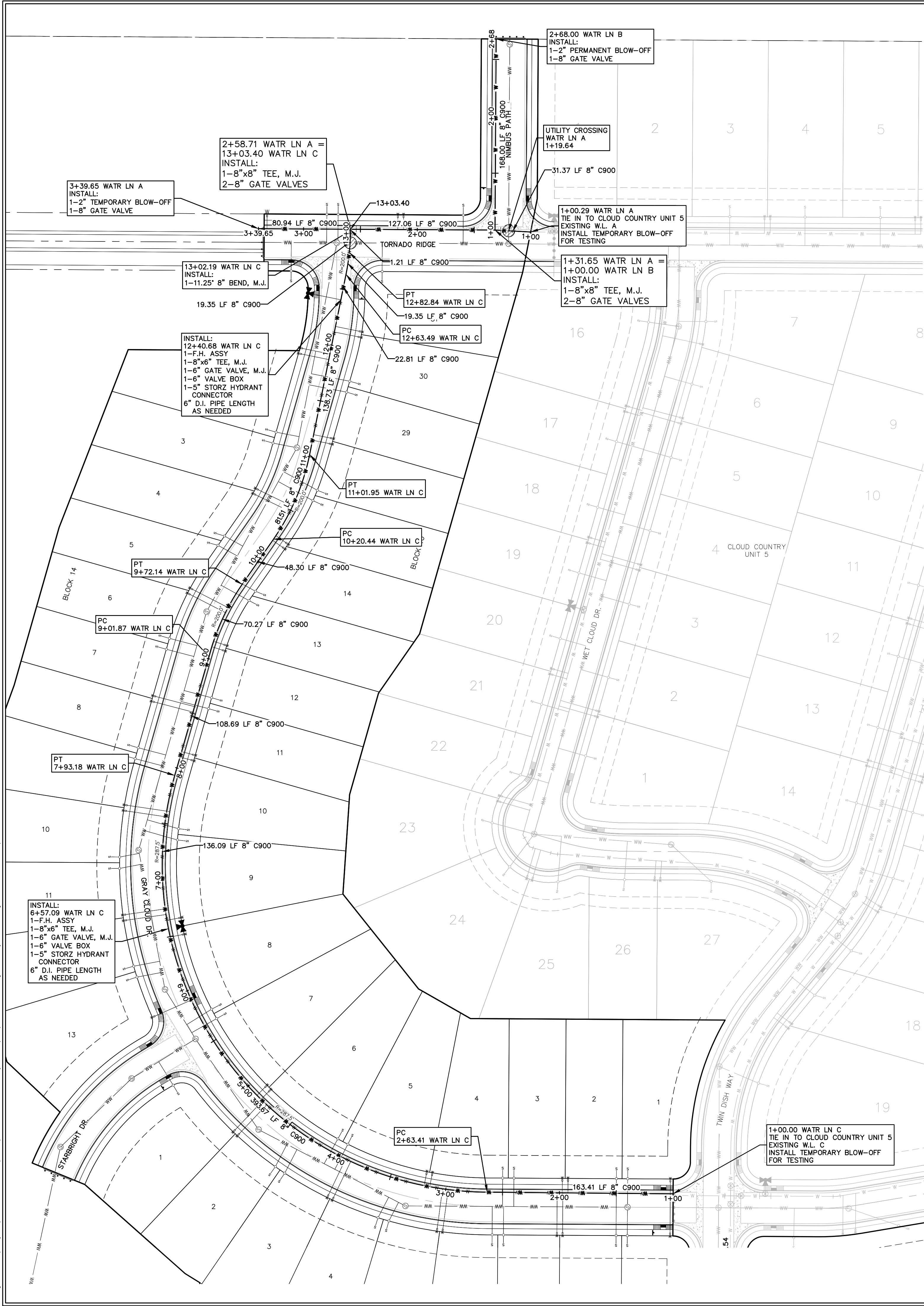
DRAWN BY: JMM

DESIGNED BY: JMM

REVIEWED BY: CVH

HMT PROJECT NO.:
056.018

SHEET
C7.09



WATER NOTES

- ALL WATER MAINS SHALL BE AWWA C900 (CLASS 150 OR GREATER).
- WATER SERVICES SHALL BE SINGLE 1" COPPER TUBING.
- WATER LINE IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE NBU SYSTEMS CONNECTION & CONSTRUCTION POLICY.
- WATER MAIN SHALL HAVE A MINIMUM OF 42 INCHES OF COVER, OTHERWISE CONCRETE ENCASEMENT WILL BE REQUIRED.
- EACH UNIT IN A DUPLEX, TRIPLEX, FOURPLEX, OR CONDOMINIUM SHALL BE PROVIDED WITH AN INDIVIDUAL WATER METER. A MASTER METER CAN BE CONSIDERED FOR SEPARATE BUILDINGS, HOWEVER, THOSE BUILDINGS MUST BE PLUMBED TO ALLOW SEPARATE METERS FOR FUTURE CONSIDERATION.
- CONTRACTOR WILL KEEP THE AREA ON TOP OF AND AROUND THE WATER METER BOX FREE OF ALL OBJECTS AND DEBRIS.
- INITIAL BACKFILL OF WATER LINES SHALL BE MANUFACTURED SAND OR PEA GRAVEL AS PER NBU SYSTEMS CONNECTION & CONSTRUCTION POLICY.
- SECONDARY BACKFILL OF WATER LINES SHALL GENERALLY CONSIST OF MATERIAL REMOVED FROM THE TRENCH AND SHALL BE FREE FROM BRUSH, DEBRIS AND TRASH OR STONES HAVING ANY DIMENSION LARGER THAN 6" INCHES AT THE LARGEST DIMENSION.
- HYDROSTATIC TESTING IS DONE FROM VALVE TO VALVE.
- NO METER BOXES TO BE SET IN DRIVEWAYS OR SIDEWALKS. ANY METER BOXES SET IN DRIVEWAYS OR SIDEWALKS WILL BE RELOCATED AT CONTRACTOR'S AND/OR DEVELOPER'S EXPENSE.
- METER BOXES MUST BE SET AT THE PROPOSED GRADE. ANY METER BOXES THAT ARE NOT SET AT THE FINAL GRADE WILL BE ADJUSTED AT CONTRACTOR'S AND/OR DEVELOPER'S EXPENSE.
- ACCEPTABLE METER BOXES ARE D13-BAMR AND D15-BAMR. NEW RESIDENTIAL LOTS ARE REQUIRED TO USE THE D15-BAMR METER BOXES (DOUBLE AMR). COMMERCIAL LOTS SHOULD CHOOSE WHICH BOX APPLIES TO THE DOMESTIC AND/OR IRRIGATION METER LAYOUT.
- THRUST BLOCKS WILL NOT BE ALLOWED ON THE SYSTEM WITHOUT SPECIAL APPROVAL. JOINTS WILL BE RESTRAINED WITH RESTRAINING SYSTEMS APPROVED BY NBU AND RESTRAINT LENGTH SHALL BE SUBMITTED TO NBU AT THE TIME OF PLAN SUBMITTAL.
- CONTRACTOR SHALL PLACE TRACER WIRE ON TOP OF THE WATER MAINS. TRACER WIRE SHOULD RUN FROM VALVE TO VALVE AND EXIT AT THE VALVE BOX. THE TRACER WIRE SHOULD BE ATTACHED TO THE TOP OF THE PIPE USING TAPE. EXCESS WIRE SHOULD BE LEFT WITHIN VALVE BOXES TO BE PLACED WITHIN LID OF COVER.
- WATER QUALITY SHALL BE PROTECTED WITH APPROPRIATE BACKFLOW PREVENTION ASSEMBLIES INSTALLED ON ALL IRRIGATION SYSTEMS, FIRE SUPPRESSION SYSTEMS AND MULTI-UNIT COMPLEXES ALONG WITH MULTI-LEVEL PROPERTIES ON THE DOMESTIC METER CONTAINMENT. NBU CAN ASSIST WITH THE DECISION ON APPROPRIATE BACKFLOW ASSEMBLIES ON A CASE BY CASE BASIS. CONTACT NBU BACKFLOW PREVENTION SPECIALIST FOR MORE DETAILS. EMAIL QUESTIONS TO CROSSCONNECTION@NBUTEXAS.COM.
- ALL BACKFLOW PREVENTION ASSEMBLIES SHALL BE TESTED UPON INSTALLATION AND REPORT SENT TO NBU VIA THE ONLINE TRACKING SYSTEM. CONTACT NBU BACKFLOW PREVENTION SPECIALIST FOR MORE DETAILS. EMAIL QUESTIONS TO CROSSCONNECTION@NBUTEXAS.COM.
- ALL RESIDENTIAL AND COMMERCIAL PROPERTIES SHALL HAVE A CUSTOMER SERVICE INSPECTION CERTIFICATE (CSI) INSPECTION COMPLETED PRIOR TO THE BUILDING OR HOME STRUCTURE. CONTACT NBU BACKFLOW PREVENTION SPECIALIST FOR MORE DETAILS. EMAIL QUESTIONS TO CROSSCONNECTION@NBUTEXAS.COM.

UTILITY TRENCH COMPACTION

ALL UTILITY TRENCH COMPACTION TESTS WITHIN THE STREET PAVEMENT SECTION SHALL BE THE RESPONSIBILITY OF THE DEVELOPER'S GEO-TECHNICAL ENGINEER. FILL MATERIAL SHALL BE PLACED IN UNIFORM LAYERS NOT TO EXCEED TWELVE INCHES (12") LOOSE. EACH LAYER OF MATERIAL SHALL BE COMPACTED TO A MINIMUM 95% DENSITY AND TESTED FOR DENSITY AND MOISTURE IN ACCORDANCE WITH TEST METHODS TEX-113-E, TEX-114-E, TEX-115-E. THE NUMBER AND LOCATION OF REQUIRED TESTS SHALL BE DETERMINED BY THE GEO-TECHNICAL ENGINEER AND APPROVED BY THE CITY OF NEW BRAUNFELS STREET INSPECTOR. AT A MINIMUM, TESTS SHALL BE TAKEN EVERY 100LF FOR EACH LIFT. UPON COMPLETION OF TESTING THE GEO-TECHNICAL ENGINEER SHALL PROVIDE THE CITY OF NEW BRAUNFELS STREET INSPECTOR WITH ALL TESTING DOCUMENTATION AND A CERTIFICATION STATING THAT THE PLACEMENT OF FILL MATERIAL HAS BEEN COMPLETED IN ACCORDANCE WITH THE PLANS.

CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITY COMPANIES 48 HOURS PRIOR TO EXCAVATION:

New Braunfels Utilities	830-629-8400
Time Warner Cable	830-625-3408
Centerpoint Gas	830-643-6434
Robert Sanders	830-643-6903
Damaged Lines	888-876-5786
AT&T Telephone	830-303-1333
Eric White PM	210-283-1706
Scott McBratney (Construction)	210-658-4886
Texas One Call	830-545-6005

C.P.E. LOCATOR

CALL CENTER POINT ENERGY LOCATOR AT 1-800-545-6005, 48HRS BEFORE BEGINNING ANY EXCAVATION. DUE TO FEDERAL REGULATIONS TITLE 49, PART 192.181, CENTER POINT ENERGY MUST MAINTAIN ACCESS TO GAS VALVES AT ALL TIMES. THE CONTRACTOR MUST PROTECT AND WORK AROUND ANY GAS VALVES THAT ARE IN THE PROJECT AREA.

TELEPHONE LOCATOR

THE EXISTENCE AND LOCATION OF UNDERGROUND CABLE INDICATED ON THE PLANS ARE TAKEN FROM THE BEST RECORDS AVAILABLE AND ARE NOT GUARANTEED TO BE ACCURATE. CONTRACTOR TO CONTACT THE TELEPHONE COMPANY CABLE LOCATOR 48HRS PRIOR TO EXCAVATION AT 1-800-545-6005. CONTRACTOR HAS THE RESPONSIBILITY TO PROTECT AND SUPPORT TELEPHONE COMPANY DURING CONSTRUCTION.

TRENCH EXCAVATION SAFETY PROTECTION

CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR STRUCTURAL DESIGN/GEOTECHNICAL/SAFETY/EQUIPMENT CONSULTANT, IF ANY, SHALL REVIEW THESE PLANS AND AVAILABLE GEOTECHNICAL INFORMATION AND THE ANTICIPATED INSTALLATION SITE(S) WITHIN THE PROJECT WORK AREA IN ORDER TO IMPLEMENT CONTRACTOR'S TRENCH EXCAVATION SAFETY PROTECTION SYSTEMS, PROGRAMS AND/OR PROCEDURES FOR THE PROJECT DESCRIBED IN THE CONTRACT DOCUMENTS. THE CONTRACTORS IMPLEMENTATION OF THESE SYSTEMS, PROGRAMS AND/OR PROCEDURES SHALL PROVIDE FOR ADEQUATE TRENCH EXCAVATION SAFETY PROTECTION THAT COMPLY WITH AS A MINIMUM, OSHA STANDARDS FOR TRENCH EXCAVATIONS. SPECIFICALLY, CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATIONS.

RESTRAINED LENGTH NOTES:

- CONTRACTOR TO COORDINATE WITH NEW BRAUNFELS UTILITIES (N.B.U.) FOR WATER, SEWER, AND ELECTRIC SERVICE TO THE SITE.
- ALL IN-LINE VALVES, BENDS & PLUGS SHALL BE RESTRAINED, RESTRAINT TO BE PROVIDED ON EACH SIDE OF THE VALVE, FITTING OR ANY REQUIRED JOINT.
- RL=RESTRAINT LENGTH
- CONTRACTOR SHALL DETERMINE RESTRAINT LENGTH REQUIRED FOR HORIZONTAL VERTICAL FITTINGS BASED ON RESTRAINT LENGTH TABLE SHOWN BELOW.

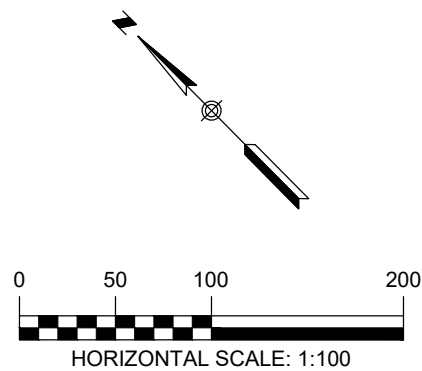
RESTRAINT LENGTH FOR PIPE											
PIPE INSIDE DIAMETER	MATERIAL	HORIZONTAL BENDS				VERTICAL BENDS					
		90°	45°	22.5°	11.25°	UPPER	22.5°	11.25°	45°	22.5°	11.25°
8"	PVC	32	14	7	4	37	18	9	10	5	3
8"	DUCTILE IRON	27	11	6	3	33	16	8	12	6	3
12"	PVC	45	19	9	5	52	25	13	14	7	4

TEE			
PIPE INSIDE DIAMETER OF RUN	PIPE INSIDE DIAMETER OF BRANCH	MATERIAL	FT.
8"	8"	PVC	77
8"	8"	DUCTILE IRON	50
12"	8"	PVC	72

NOTES:

LENGTHS SHOWN ABOVE WERE COMPUTED BASED ON THE FOLLOWING VALUES:

- SAFETY FACTOR = 1.5 TO 1
- TEST PRESSURE = 200psi
- SOIL DESIGNATION = IN ORGANIC CLAY OF HIGH PLASTICITY
- DEPTH OF COVER = 3.5 FEET (TYPICAL AND UPPER BEND)
- DEPTH OF COVER = 5 FEET (LOWER BEND)
- LENGTH ALONG RUN = 2 FEET

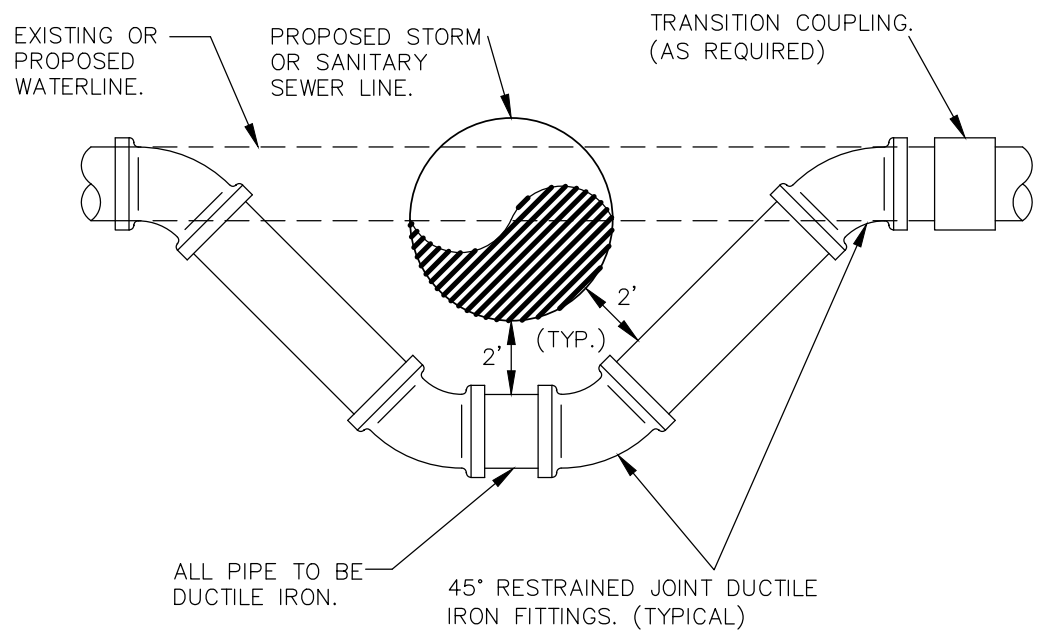


LEGEND

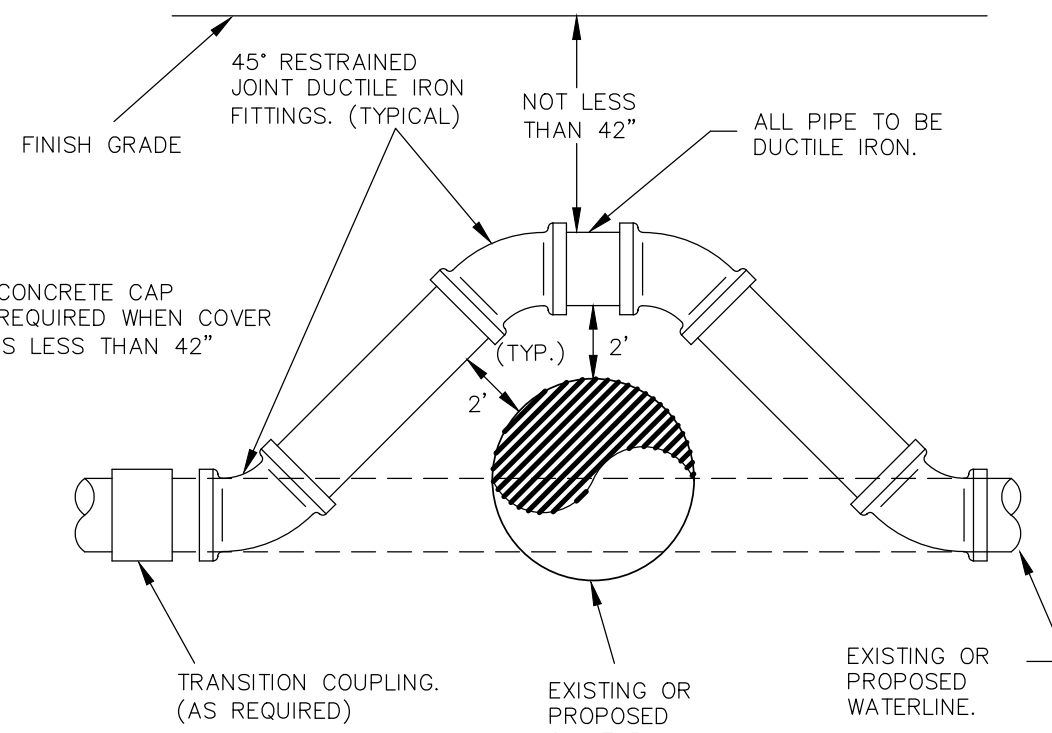
- EXISTING CONTOURS
- PROPOSED CONTOURS
- B.L. BUILDING SETBACK LINE
- UTILITY EASEMENT
- DRAINAGE EASEMENT
- EXISTING WATER LINE
- PROPOSED WATER LINE
- PROPOSED WATER SERVICE
- UTILITY CROSSING

UTILITY NOTES:

- ALL UTILITIES TO BE CONSTRUCTED PRIOR TO THE STREETS.
- NO VALVES, HYDRANTS, ETC. SHALL BE CONSTRUCTED WITHIN CURBS, SIDEWALKS OR DRIVEWAYS.
- THIS SITE IS IN THE KOHLENBERG PRESSURE ZONE ACCORDING TO NEW BRAUNFELS UTILITIES PRESSURE RECORDER LOCATIONS.
- CONTRACTOR TO VERIFY EXISTING LATERAL HAS A MINIMUM LONGITUDINAL SLOPE OF 2%.
- POINT OF DELIVERY SHALL BE IN ACCORDANCE WITH NBU WATER AND WASTEWATER DESIGN CRITERIA MANUAL, SECTION 2.3.0.



WATERLINE ADJUSTMENT DETAIL
N.T.S.



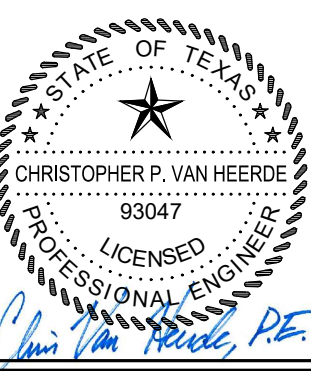
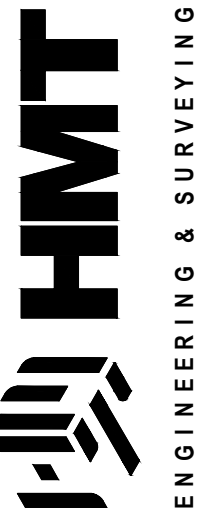
WATERLINE ADJUSTMENT DETAIL
N.T.S.

QUANTITIES	
ITEM	TOTAL
8" C900 PIPE	4,798LF
FIRE HYDRANT ASSEMBLY	5
8"-45° BENDS	10
8"-22.5° BENDS	4
8"-11.25° BENDS	2
8"x8" TEES	4
8" GATE VALVES	12
8" DOMESTIC METERS	104
WATER SERVICES	104
LUEs	104

REFER TO THE COVER SHEET FOR BENCHMARK INFORMATION.

THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR WILL AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE INCURRED BY THEIR FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES, STRUCTURES OR FACILITIES. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES 24-HOURS PRIOR TO COMMENCING CONSTRUCTION.

290 S. CASTELL AVE., STE. 100
NEW BRAUNFELS, TX 78130
TBPE FIRM F-10961
TBPLS FIRM 1053600



08/07/2020

OVERALL WATER
(1 OF 2)
CLOUD COUNTRY
UNITS 6 & 8

REVISION	DESCRIPTION	DATE
NO.		

DATE: JULY 2020

DRAWN BY: JMM

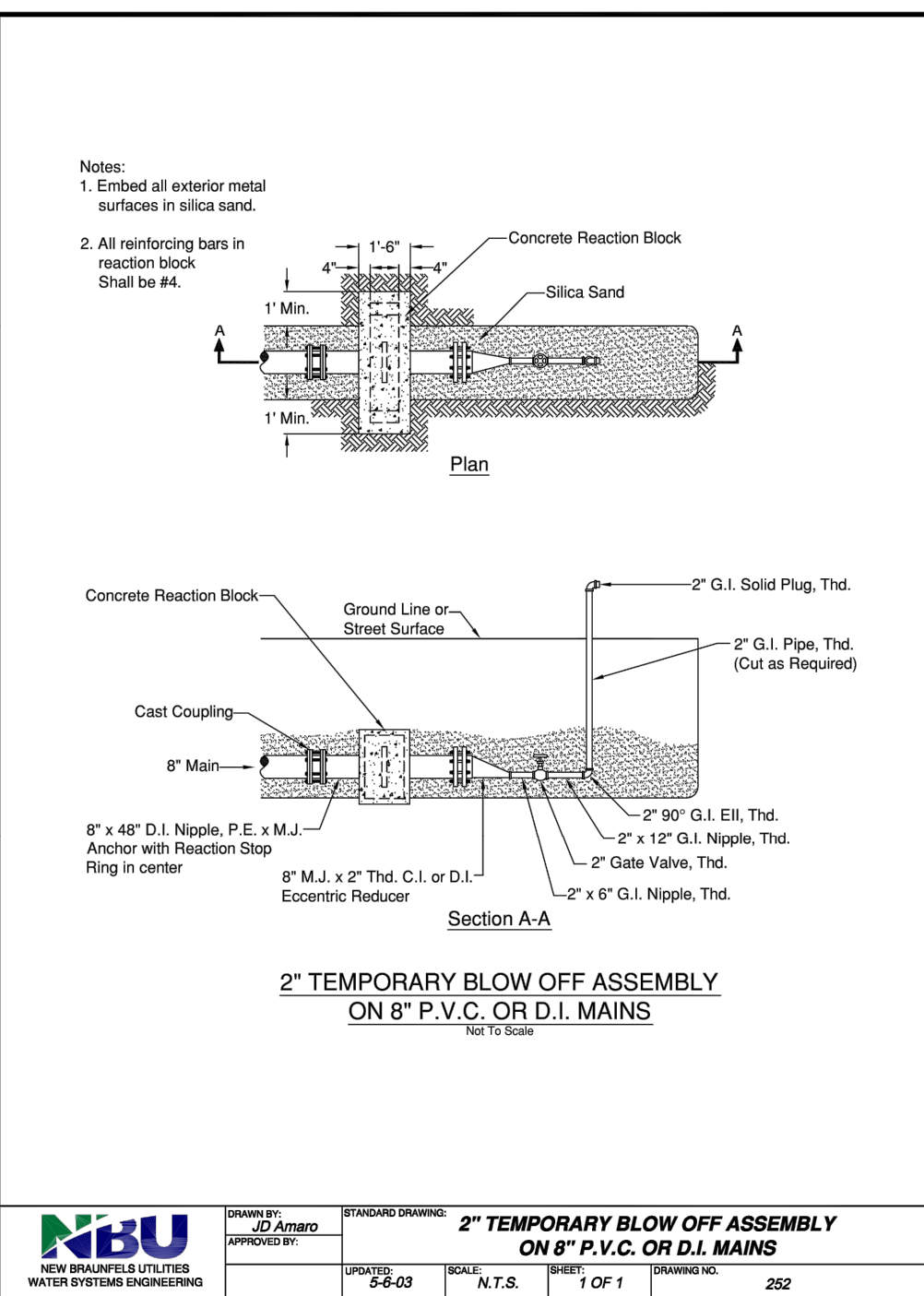
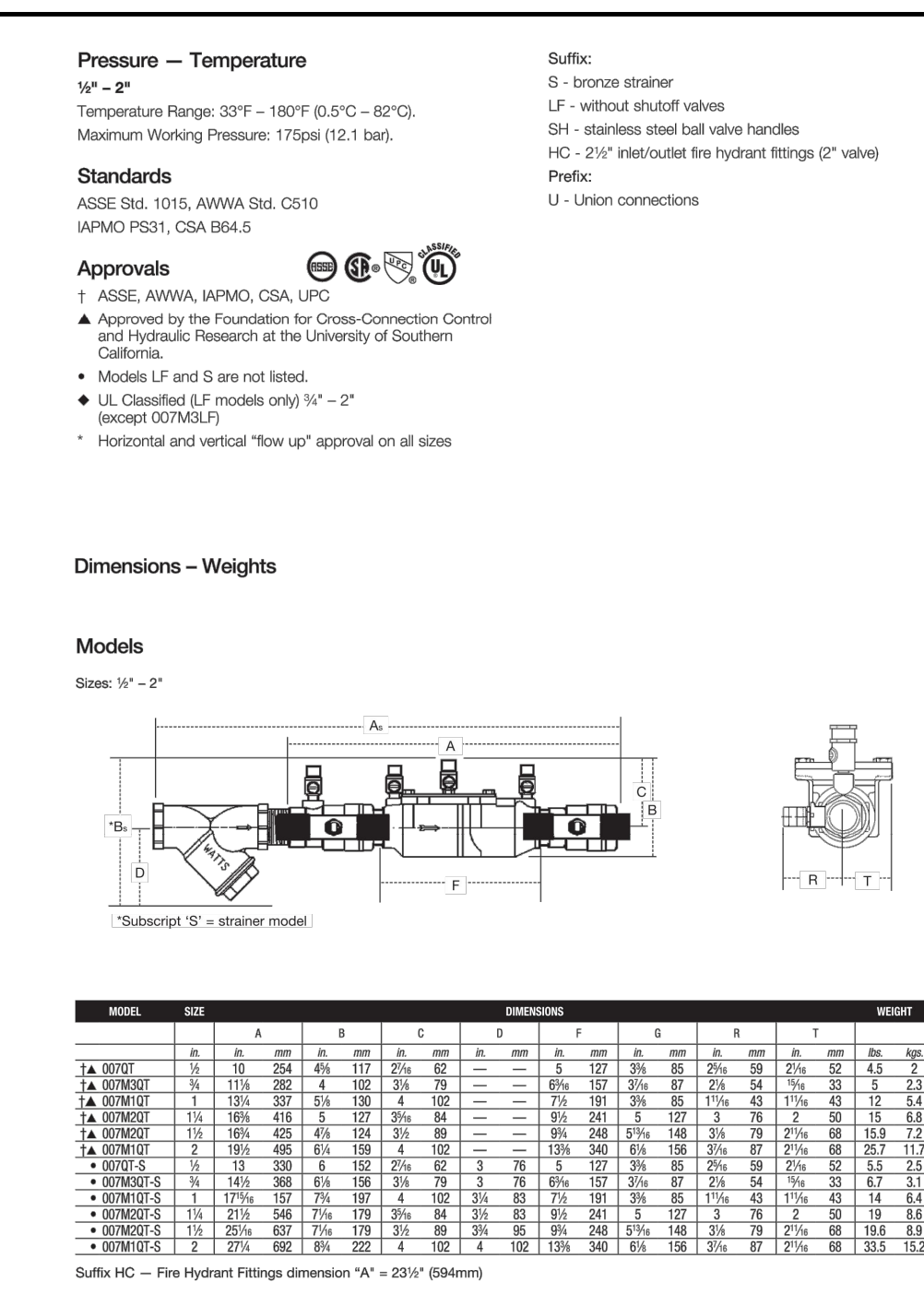
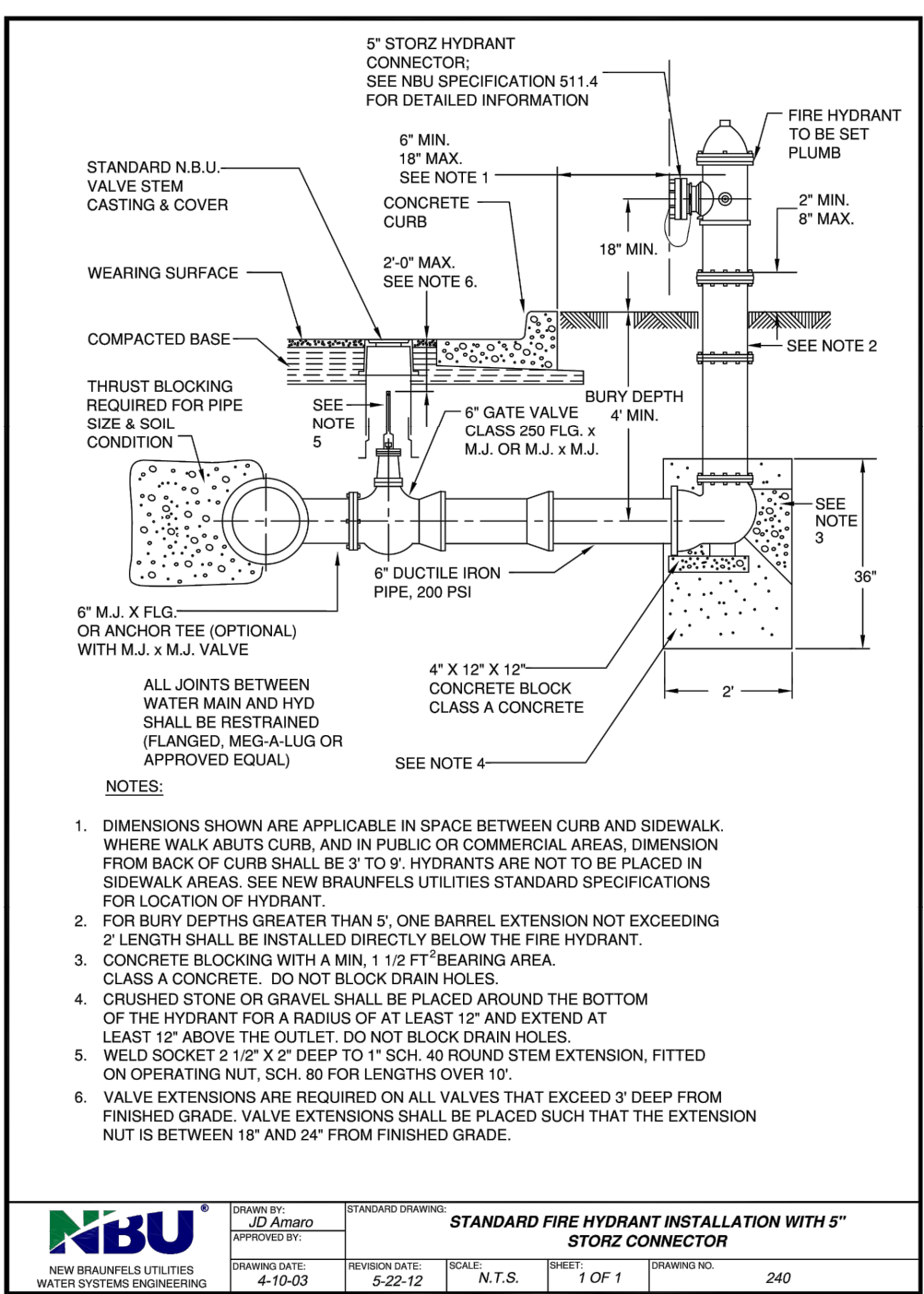
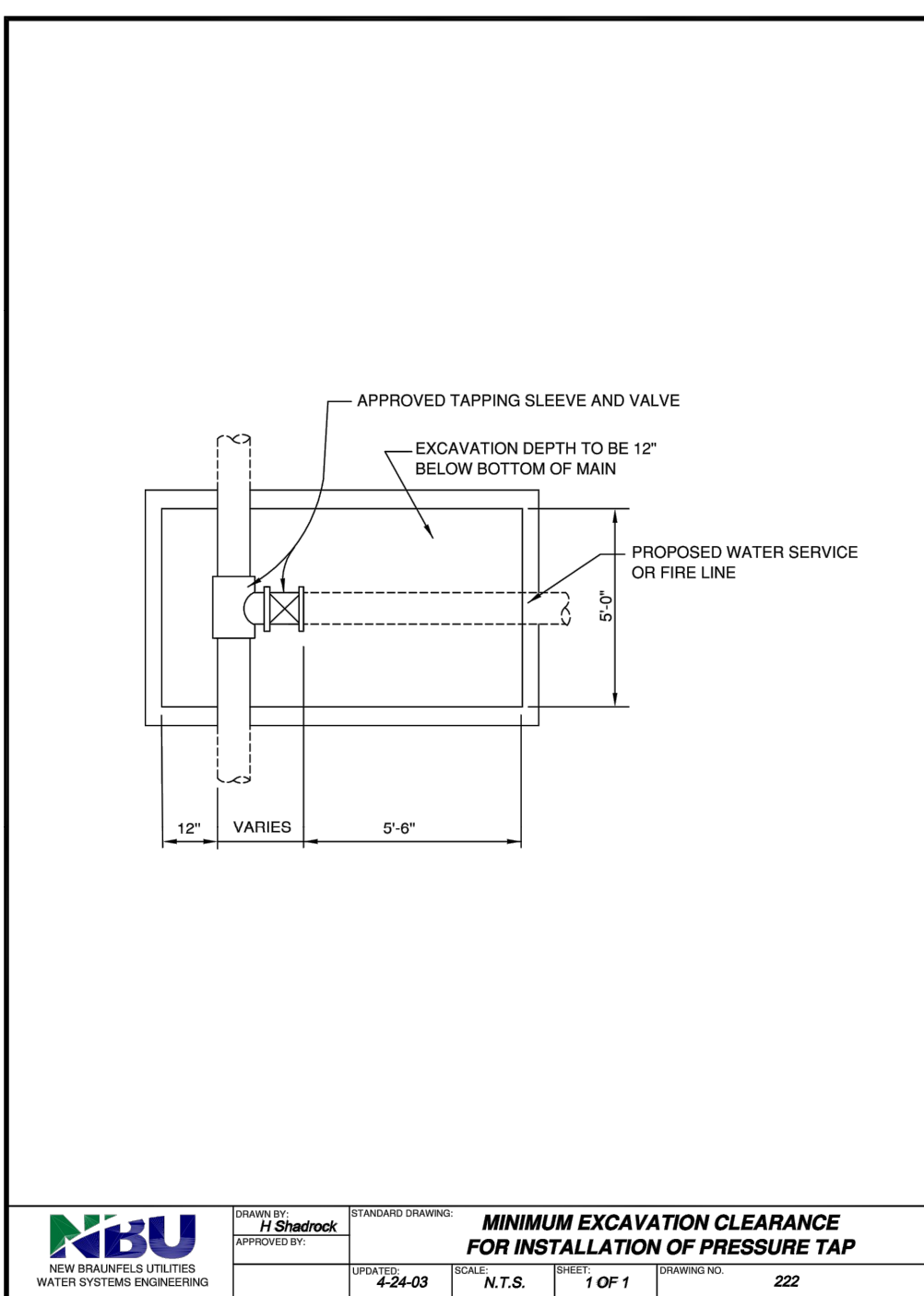
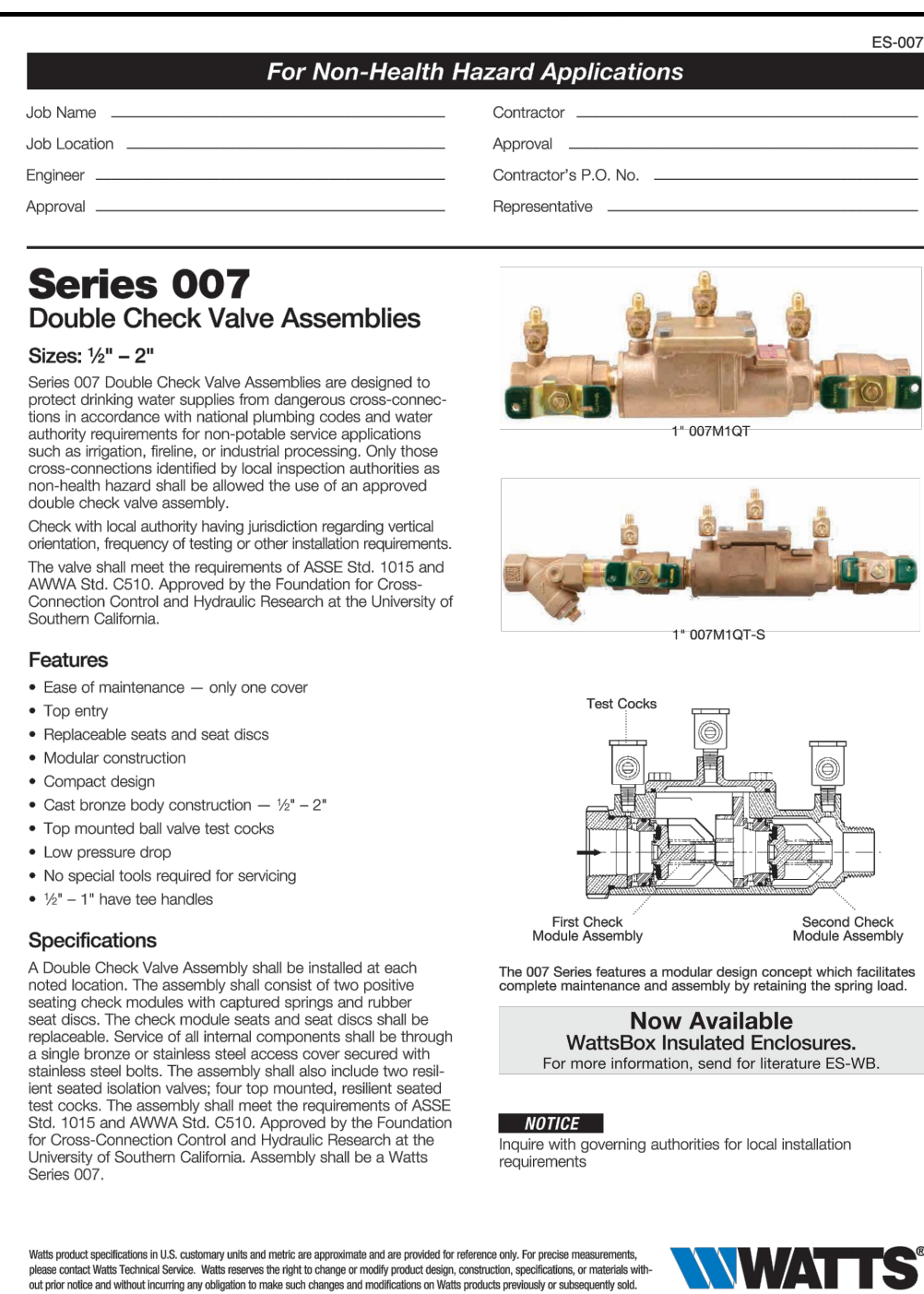
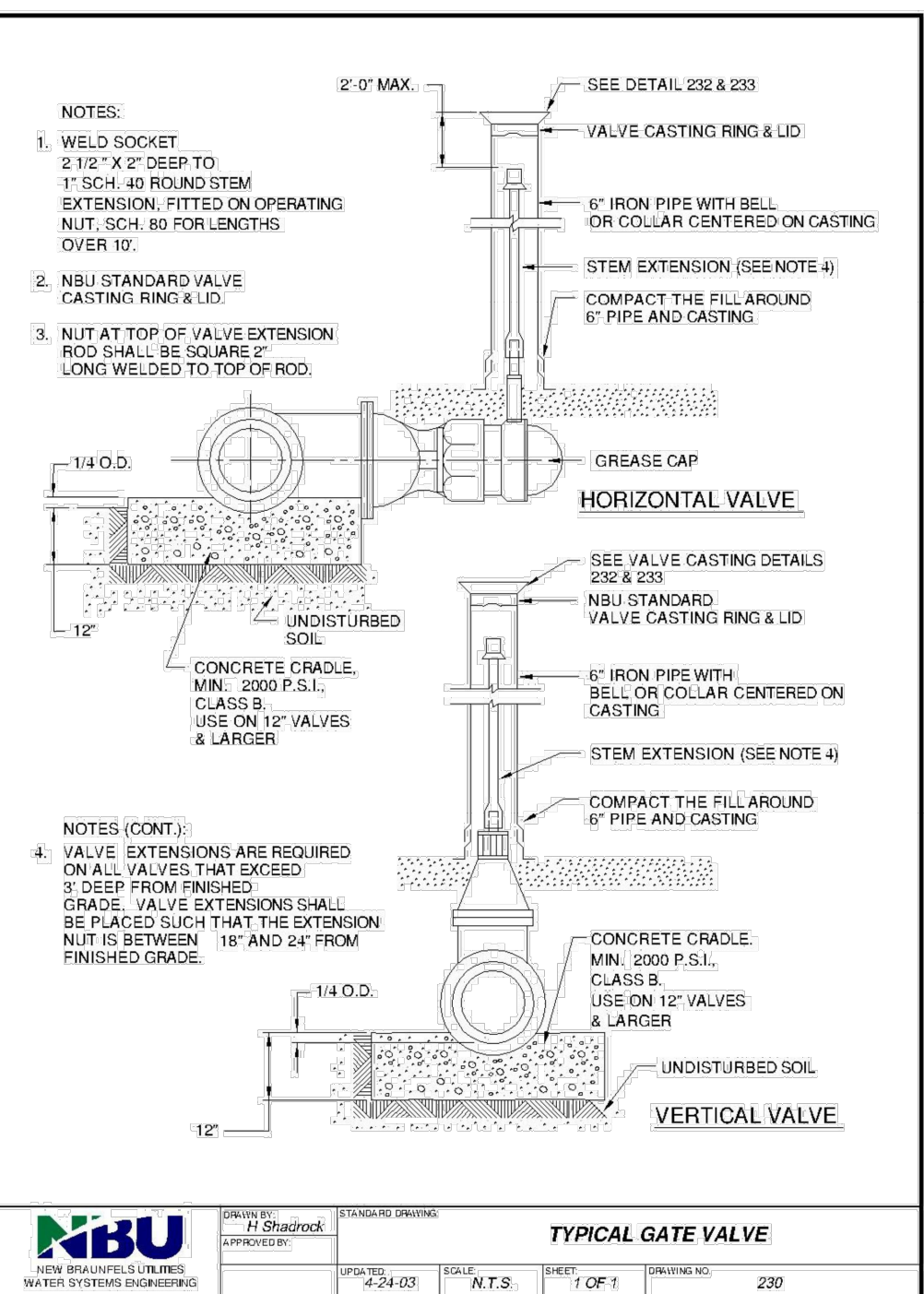
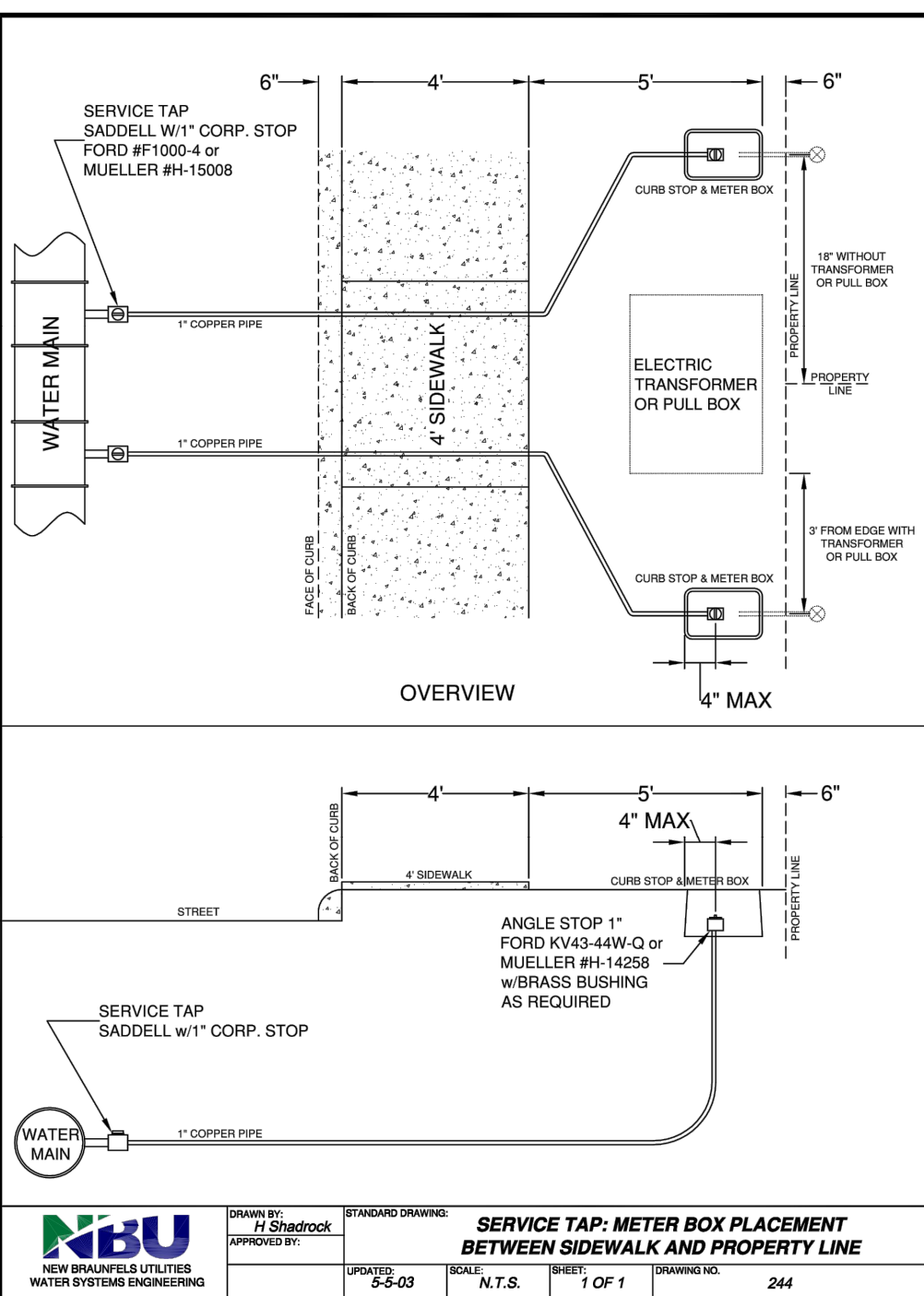
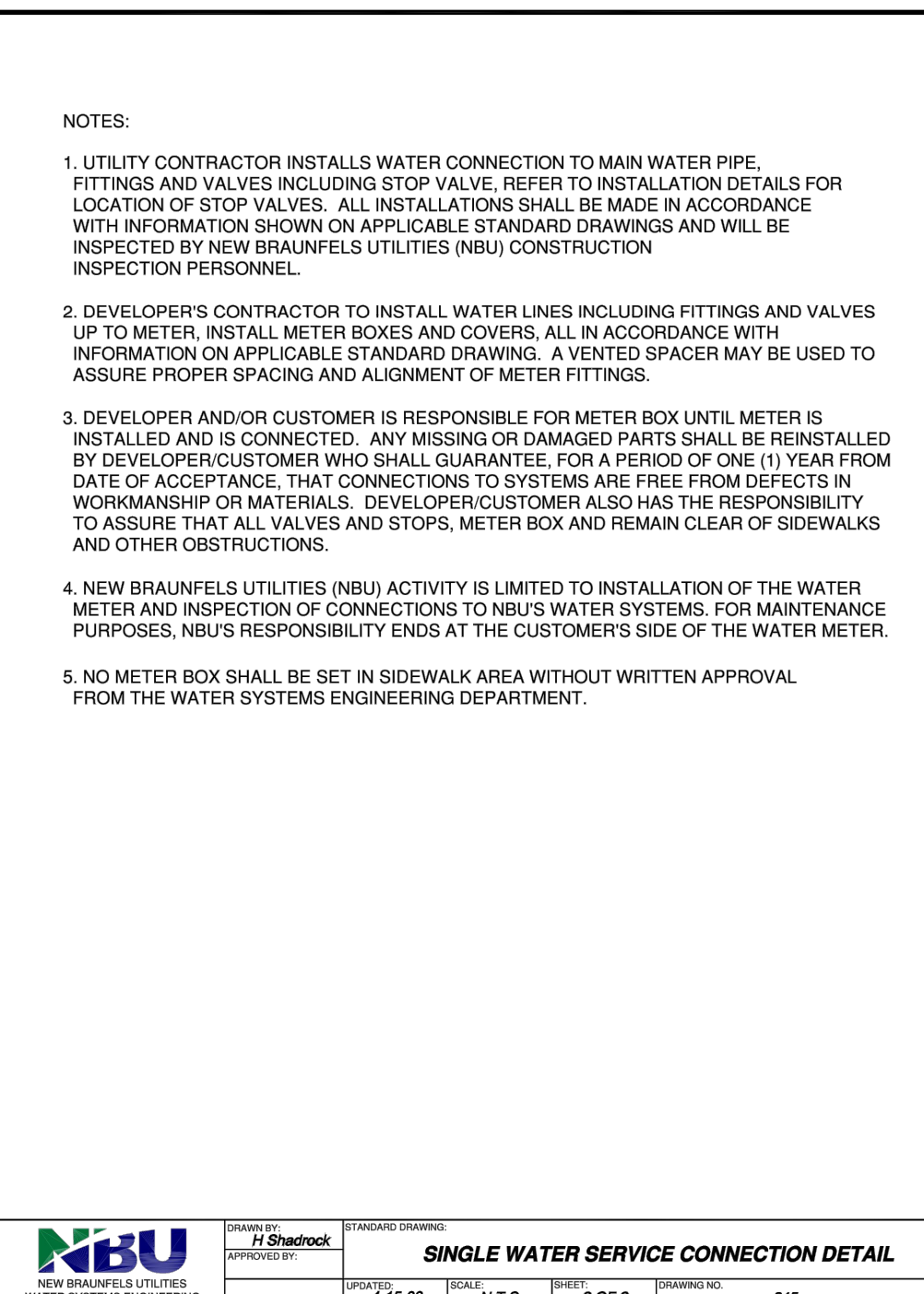
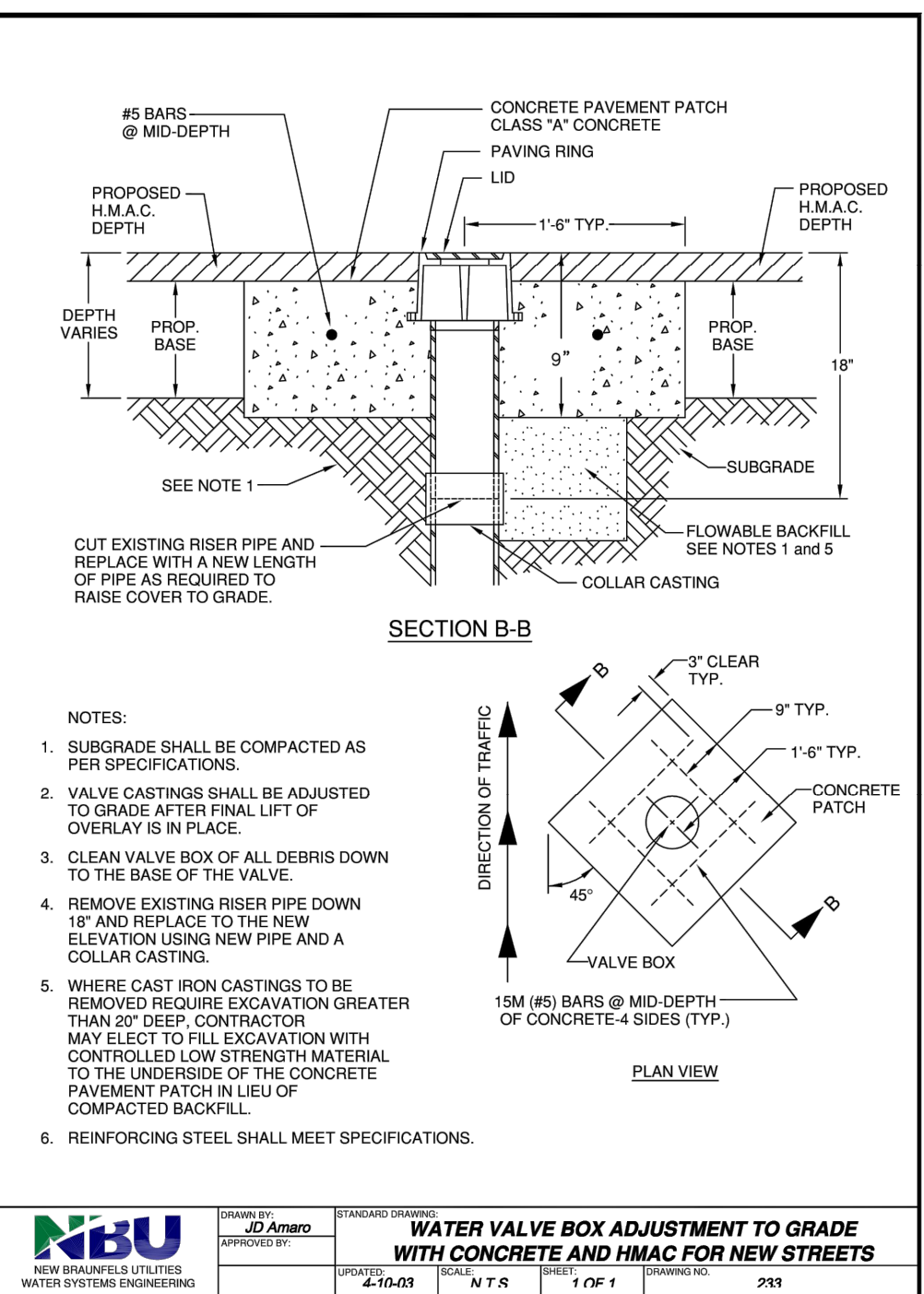
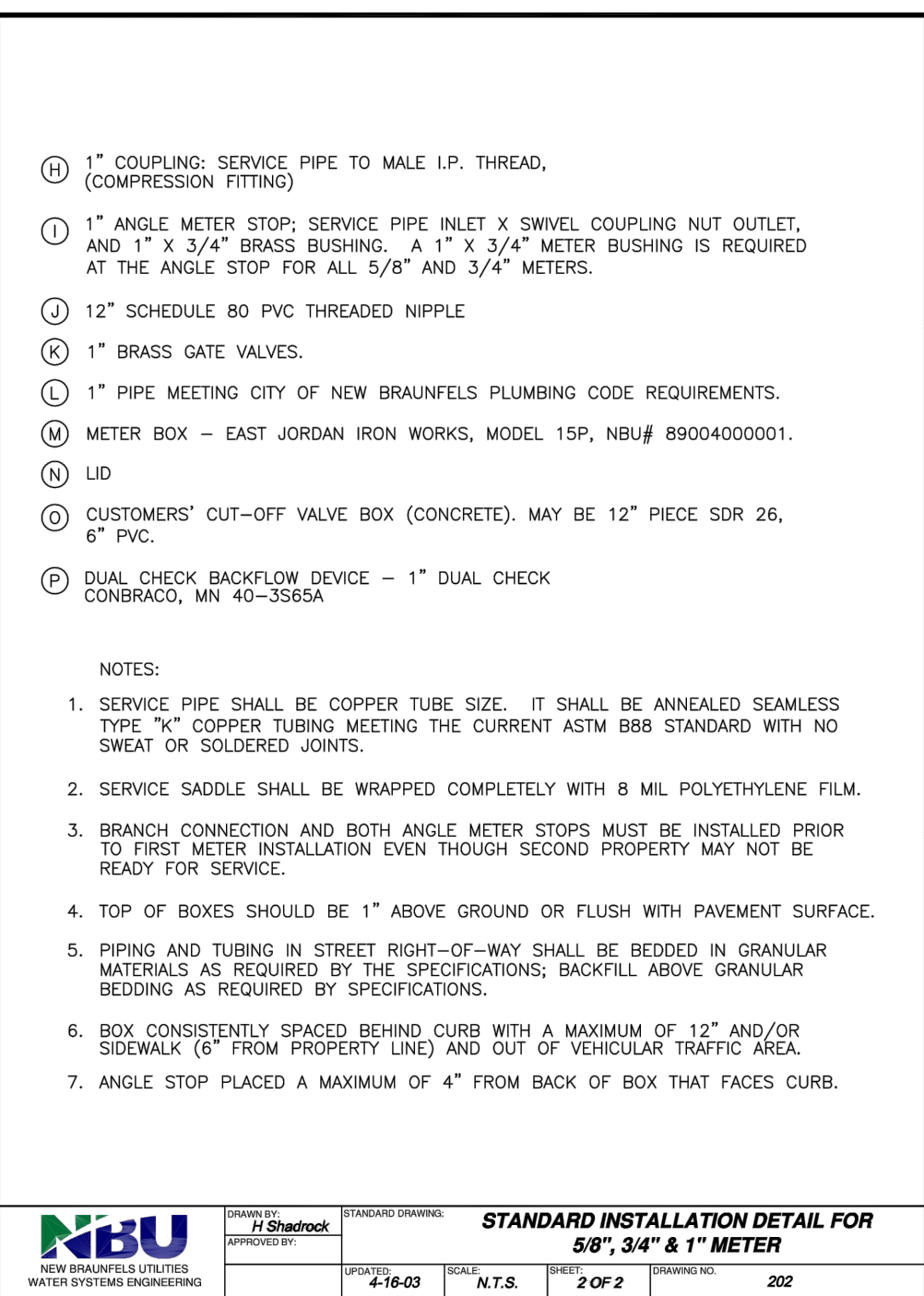
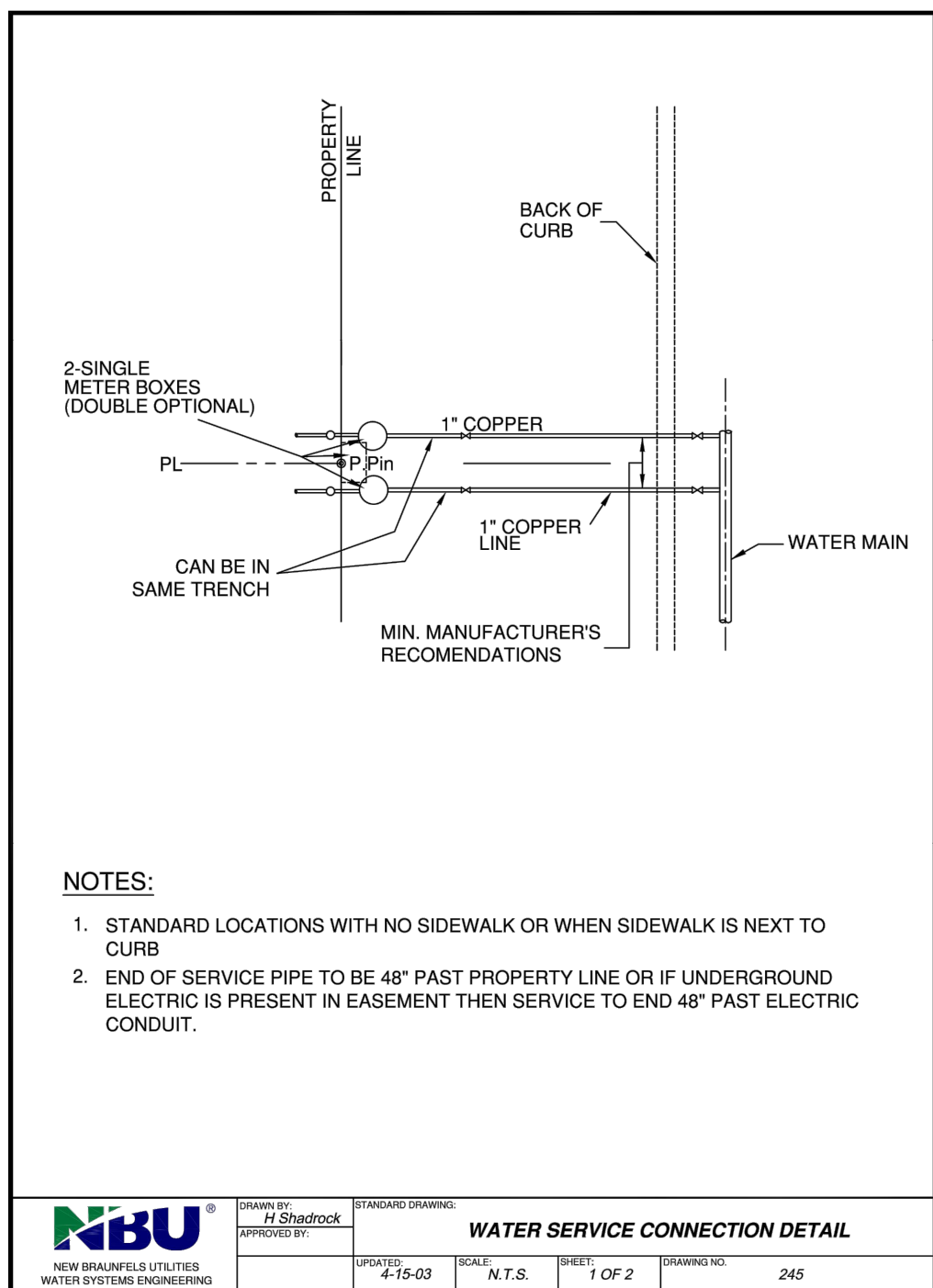
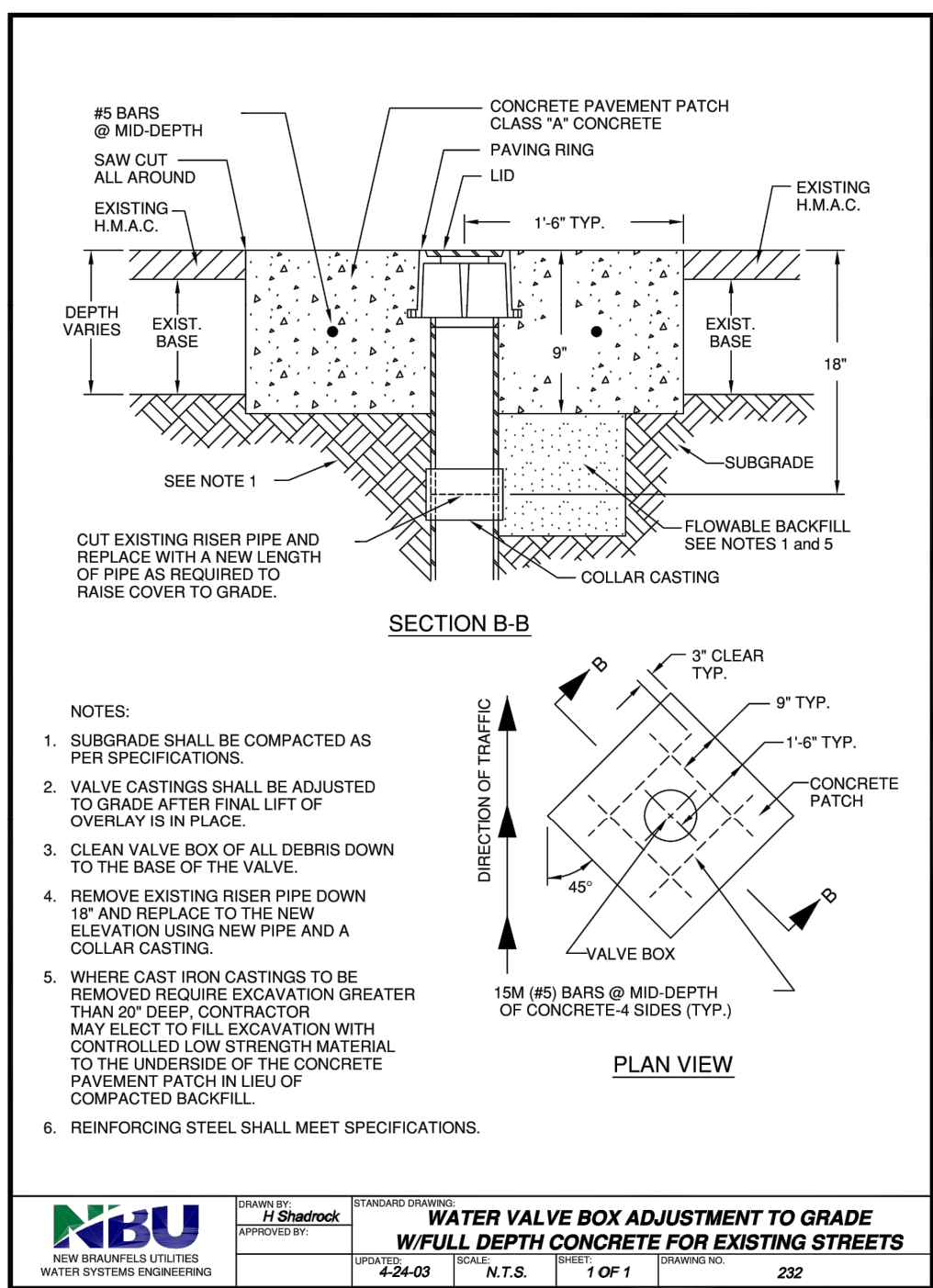
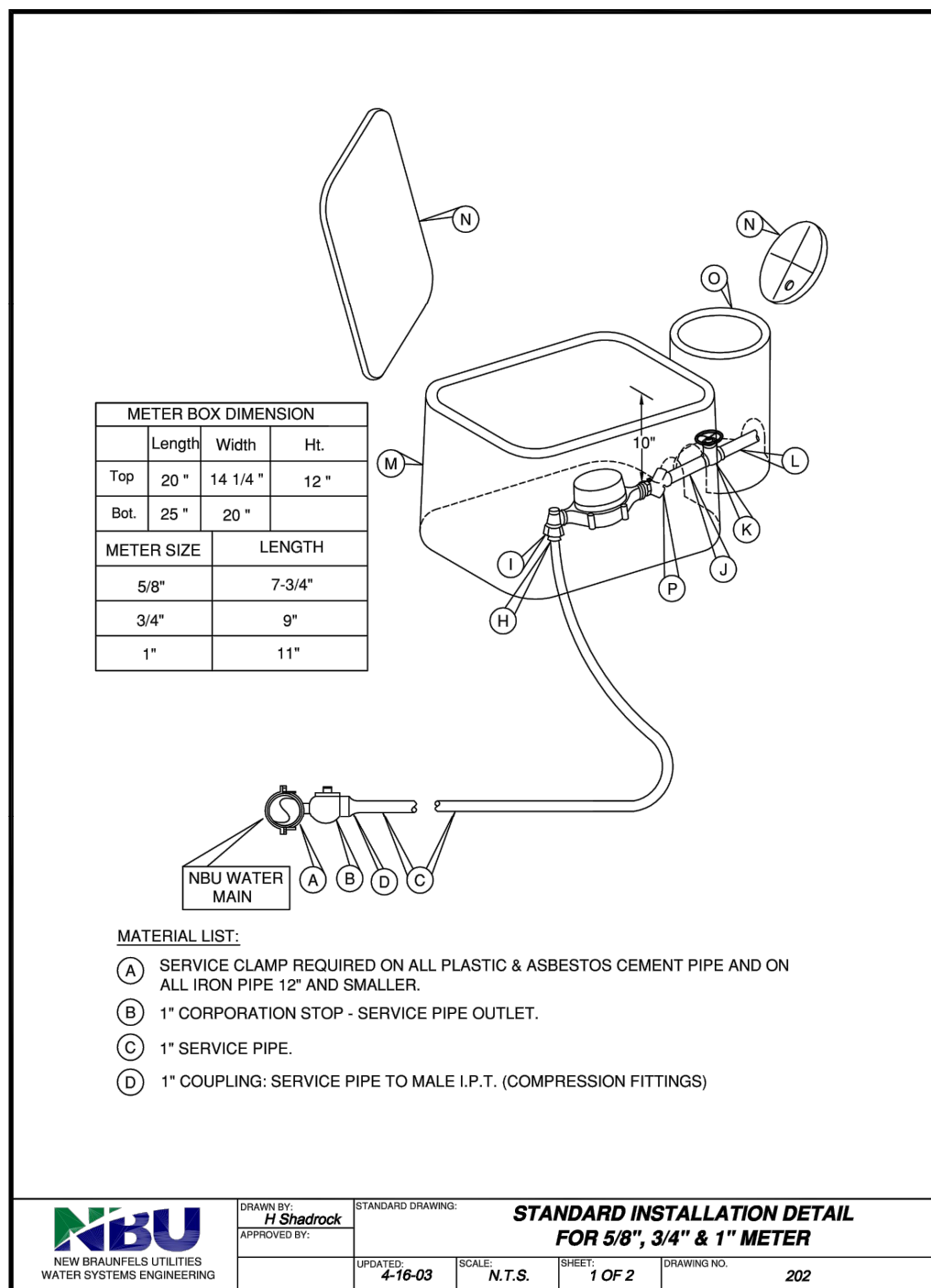
DESIGNED BY: JMM

REVIEWED BY: CVH

HMT PROJECT NO. 056.018

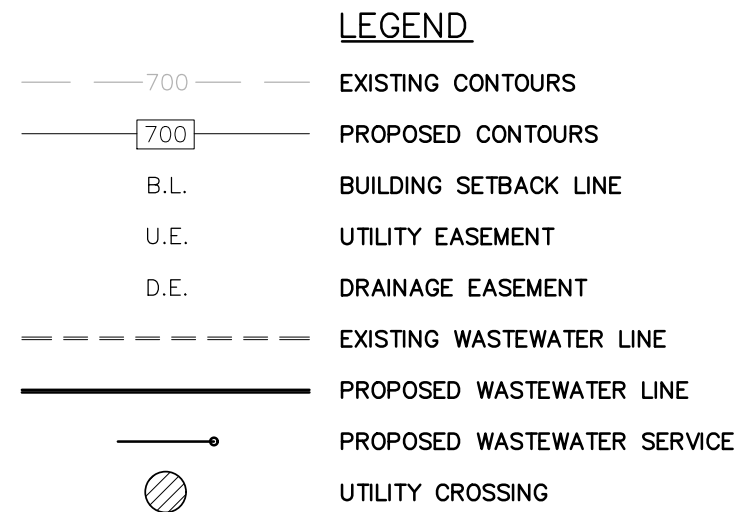
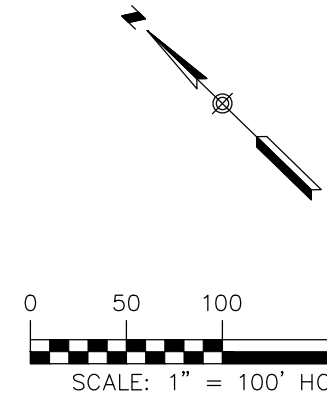
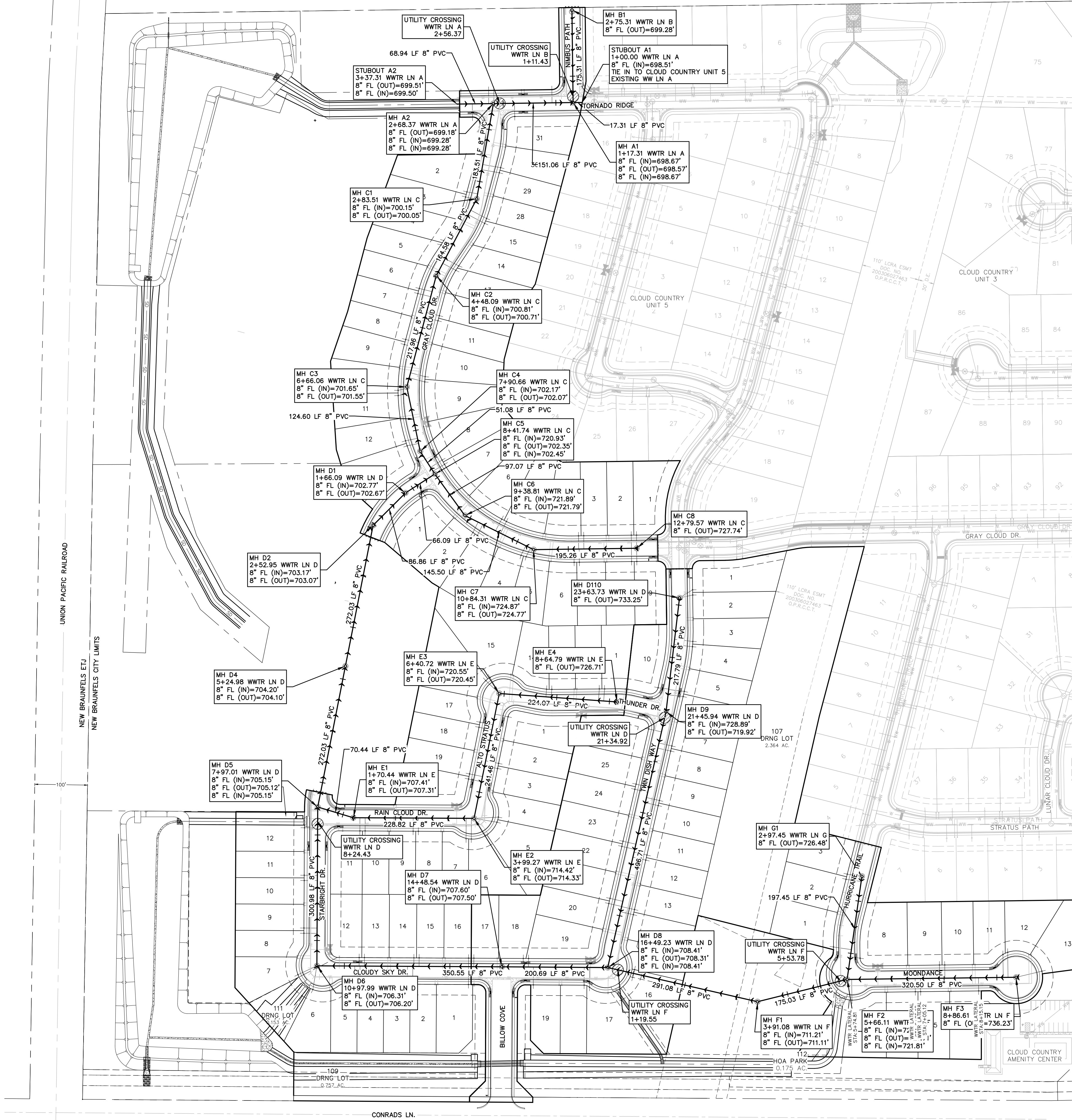
SHEET

C8.00



UTILITY NOTES:

1. ALL UTILITIES TO BE CONSTRUCTED PRIOR TO THE STREETS.
2. NO VALVES, HYDRANTS, ETC. SHALL BE CONSTRUCTED WITHIN CURBS, SIDEWALKS OR DRIVEWAYS.



UTILITY NOTES:

1. ALL UTILITIES TO BE CONSTRUCTED PRIOR TO THE STREETS.

UTILITY TRENCH COMPACTION

ALL UTILITY TRENCH COMPACTION TESTS WITHIN THE STREET PAVEMENT SECTION SHALL BE THE RESPONSIBILITY OF THE DEVELOPER'S GEO-TECHNICAL ENGINEER. FILL MATERIAL SHALL BE PLACED IN UNIFORM LAYERS NOT TO EXCEED TWELVE INCHES (12") LOOSE. EACH LAYER OF MATERIAL SHALL BE COMPACTED TO A MINIMUM 95% DENSITY AND TESTED FOR DENSITY AND MOISTURE IN ACCORDANCE WITH TEST METHODS TEX-113-E, TEX-114-E, TEX-115-E. THE NUMBER AND LOCATION OF REQUIRED TESTS SHALL BE DETERMINED BY THE GEOTECHNICAL ENGINEER AND APPROVED BY THE CITY OF NEW BRAUNFELS STREET INSPECTOR. AT A MINIMUM, TESTS SHALL BE TAKEN EVERY 100LF FOR EACH LIFT. UPON COMPLETION OF TESTING THE GEO-TECHNICAL ENGINEER SHALL PROVIDE THE CITY OF NEW BRAUNFELS STREET INSPECTOR WITH ALL TESTING DOCUMENTATION AND A CERTIFICATION STATING THAT THE PLACEMENT OF FILL MATERIAL HAS BEEN COMPLETED IN ACCORDANCE WITH THE PLANS.

CONSTRUCTION NOTES:

1. NO VALVES, HYDRANTS, CLEAN-OUTS, ETC. SHALL BE CONSTRUCTED WITHIN CURBS, SIDEWALKS, OR DRIVEWAYS.
2. ALL SEWER PIPE ASTM 3034 (115 PSI)
3. ALL MANHOLES SHALL BE 48" DIAMETER.
4. ALL RING AND COVER SHALL BE 32" DIAMETER.
5. EXISTING MANHOLES, RIM AND FLOWLINE ELEVATIONS SURVEYED BY HMT ENGINEERING & SURVEYING DATED SEPTEMBER 10, 2019.
6. POINT OF DELIVERY SHALL BE IN ACCORDANCE WITH NBU WATER AND WASTEWATER DESIGN CRITERIA MANUAL, SECTION 2.3.0.
7. ALL WASTEWATER LINES AND MANHOLES WITH DEPTHS GREATER THAN 15 FEET MUST HAVE AN NBU INSPECTOR PRESENT DURING INSTALLATION. IF THE INSPECTOR IS NOT PRESENT, THE LINE AND/OR MANHOLE IS SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
8. THIS PROJECT INCLUDES UTILITY INSTALLATIONS GREATER THAN 5- FEET IN DEPTH LOCATED IN PUBLIC RIGHT-OF-WAY OR EASEMENTS. DEEP TRENCHES POSE COMPACTION TESTING AND CONSTRUCTION CHALLENGES AND CITY METHODS FOR TESTING AND COMPACTION MAY NOT BE ACHIEVABLE. A UTILITY COMPACTION PLAN WILL BE REQUIRED AND MUST BE SUBMITTED FOR APPROVAL TO CITY PRIOR TO UTILITY INSTALLATION.

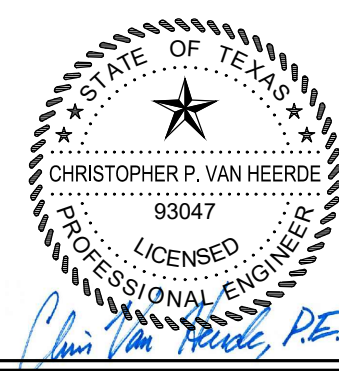
QUANTITIES	
ITEM	TOTAL
8" PVC PIPE	5,502LF
MANHOLES	32
SEWER SERVICES	104
LUES	104

TRENCH EXCAVATION SAFETY PROTECTION

CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR STRUCTURAL DESIGN/GEOTECHNICAL/SAFETY/EQUIPMENT CONSULTANT, IF ANY, SHALL REVIEW THESE PLANS AND AVAILABLE GEOTECHNICAL INFORMATION AND THE ANTICIPATED INSTALLATION SITE(S) WITHIN THE PROJECT WORK AREA IN ORDER TO IMPLEMENT CONTRACTOR'S TRENCH EXCAVATION SAFETY PROTECTION SYSTEMS, PROGRAMS AND/OR PROCEDURES FOR THE PROJECT DESCRIBED IN THE CONTRACT DOCUMENTS. THE CONTRACTORS IMPLEMENTATION OF THESE SYSTEMS, PROGRAMS AND/OR PROCEDURES SHALL PROVIDE FOR ADEQUATE TRENCH EXCAVATION SAFETY PROTECTION THAT COMPLY WITH AS A MINIMUM, OSHA STANDARDS FOR TRENCH EXCAVATIONS. SPECIFICALLY, CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATIONS.

THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR WILL AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE INCURRED BY THEIR FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES, STRUCTURES OR FACILITIES. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES 24-HOURS PRIOR TO COMMENCING CONSTRUCTION.

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NEW BRAUNFELS, TX 78130
TBPE FIRM F-10961
TBPLS FIRM 1053600



08/07/2020

OVERALL WASTEWATER

CLOUD COUNTRY
UNITS 6 & 8

REVISION	DESCRIPTION	DATE
NO.		

DATE: AUGUST 2020

DRAWN BY: JMM

DESIGNED BY: JMM

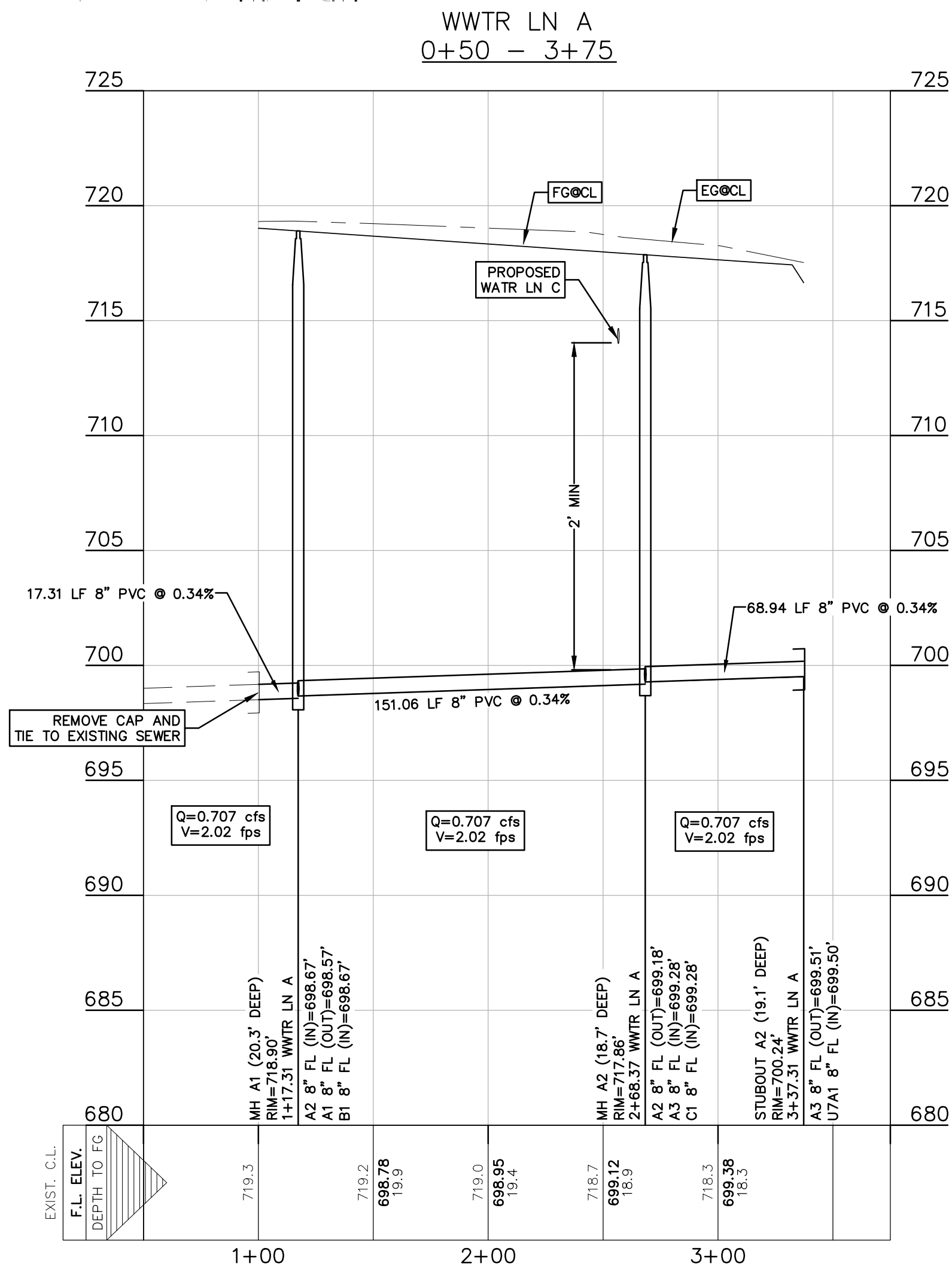
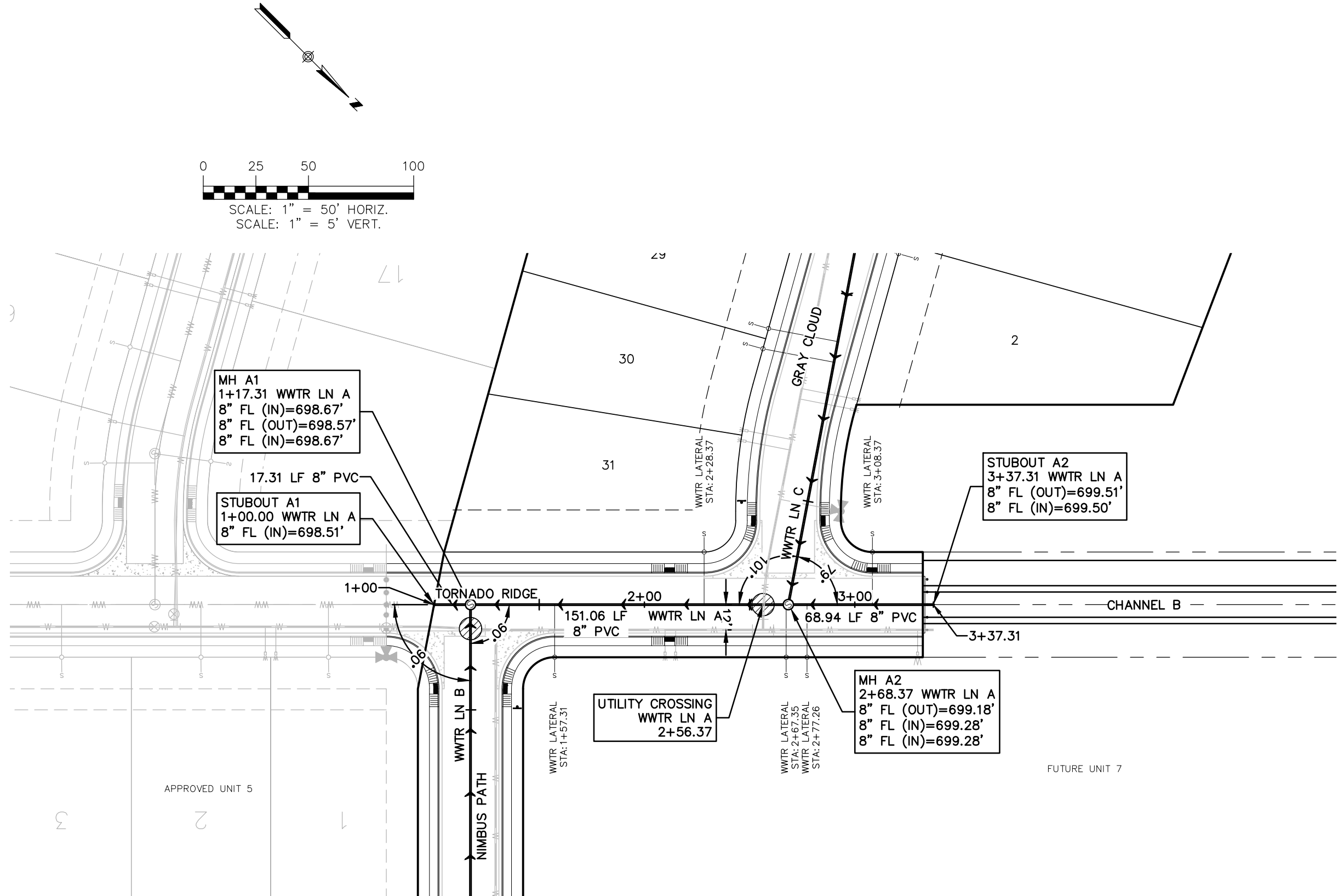
REVIEWED BY: CVH

HMT PROJECT NO.:
056.018

SHEET
C9.00

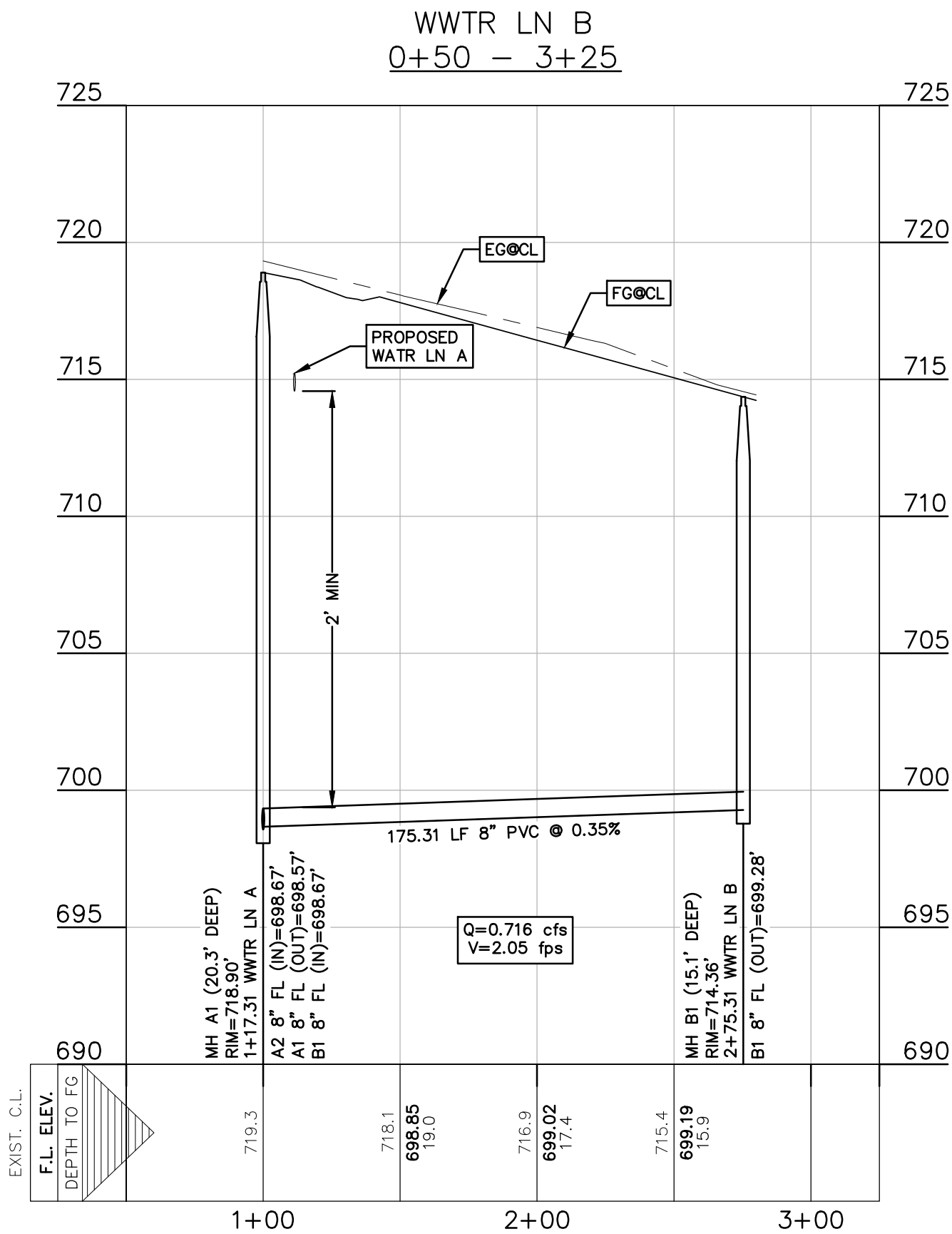
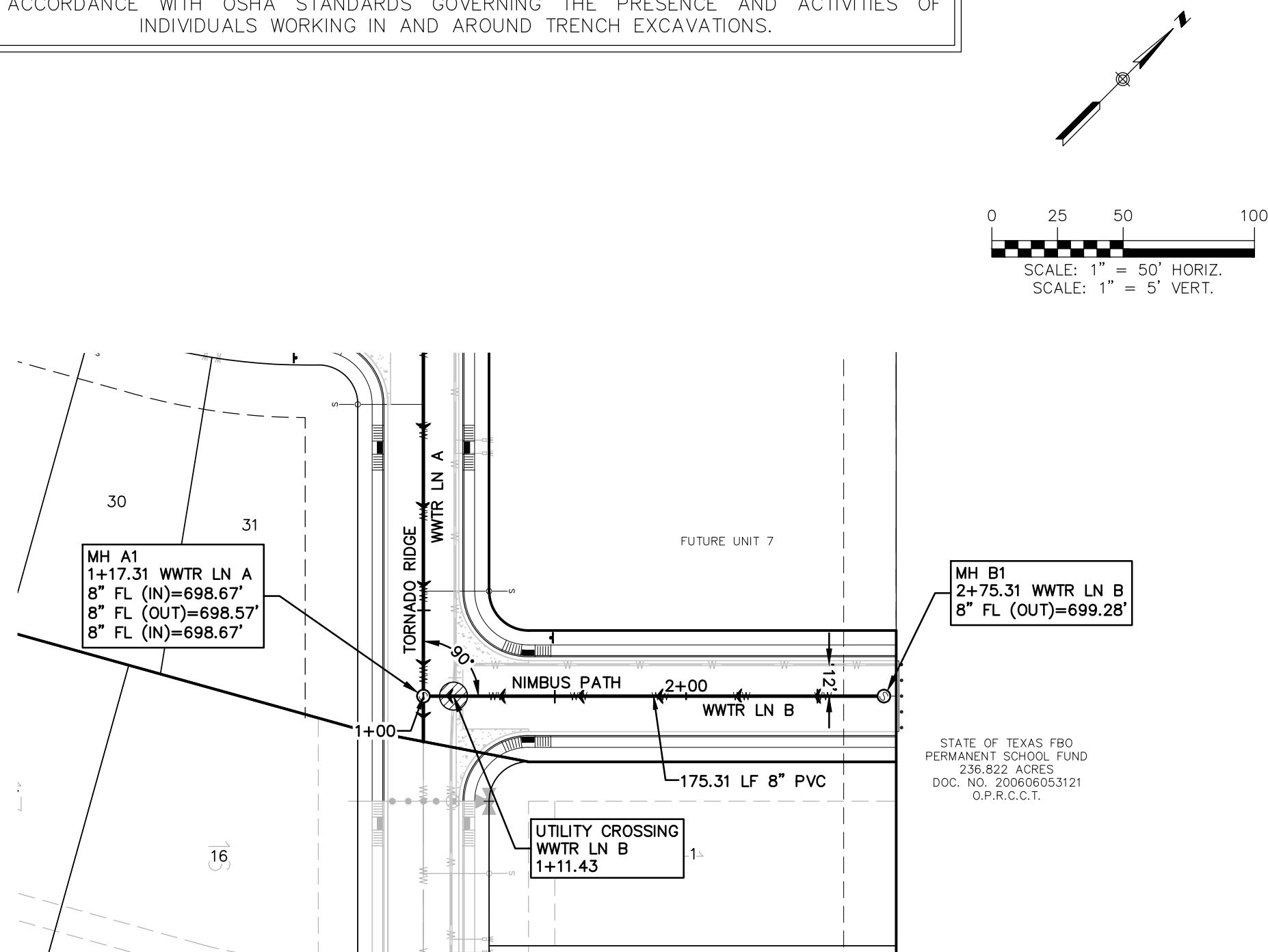
UTILITY TRENCH COMPACTION

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TRENCH EXCAVATION SAFETY PROTECTION

CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR STRUCTURAL DESIGN/GEOTECHNICAL/SAFETY/EQUIPMENT CONSULTANT, IF ANY, SHALL REVIEW THESE PLANS AND AVAILABLE GEOTECHNICAL INFORMATION AND THE ANTICIPATED INSTALLATION SITE(S) WITHIN THE PROJECT WORK AREA IN ORDER TO IMPLEMENT CONTRACTOR'S TRENCH EXCAVATION SAFETY PROTECTION SYSTEMS, PROGRAMS AND/OR PROCEDURES FOR THE PROJECT DESCRIBED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR'S IMPLEMENTATION OF THESE SYSTEMS, PROGRAMS AND/OR PROCEDURES SHALL PROVIDE FOR ADEQUATE TRENCH EXCAVATION SAFETY PROTECTION THAT COMPLY WITH AS A MINIMUM, OSHA STANDARDS FOR TRENCH EXCAVATIONS. SPECIFICALLY, CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATIONS.



LEGEND

- EXISTING CONTOURS
- PROPOSED CONTOURS
- B.L. BUILDING SETBACK LINE
- U.E. UTILITY EASEMENT
- D.E. DRAINAGE EASEMENT
- EXISTING WASTEWATER LINE
- PROPOSED WASTEWATER LINE
- PROPOSED WASTEWATER SERVICE
- UTILITY CROSSING

UTILITY NOTES:

- ALL UTILITIES TO BE CONSTRUCTED PRIOR TO THE STREETS
- NO VALVES, HYDRANTS, ETC. SHALL BE CONSTRUCTED WITHIN CURBS, SIDEWALKS OR DRIVEWAYS.

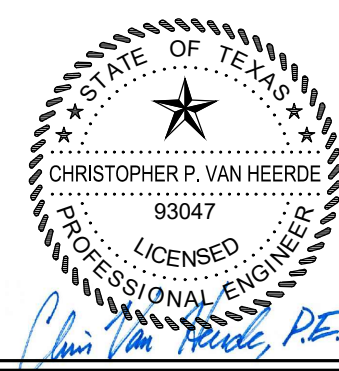
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290 S. CASTELL AVE., STE. 100
NEW BRAUNFELS, TX 78130
TBPE FIRM F-10961
TBPLS FIRM 1053600



08/07/2020

WWTR LNS A & B
PLAN & PROFILE
CLOUD COUNTRY
UNITS 6 & 8

NO.	REVISION	DESCRIPTION	DATE

DATE: AUGUST 2020

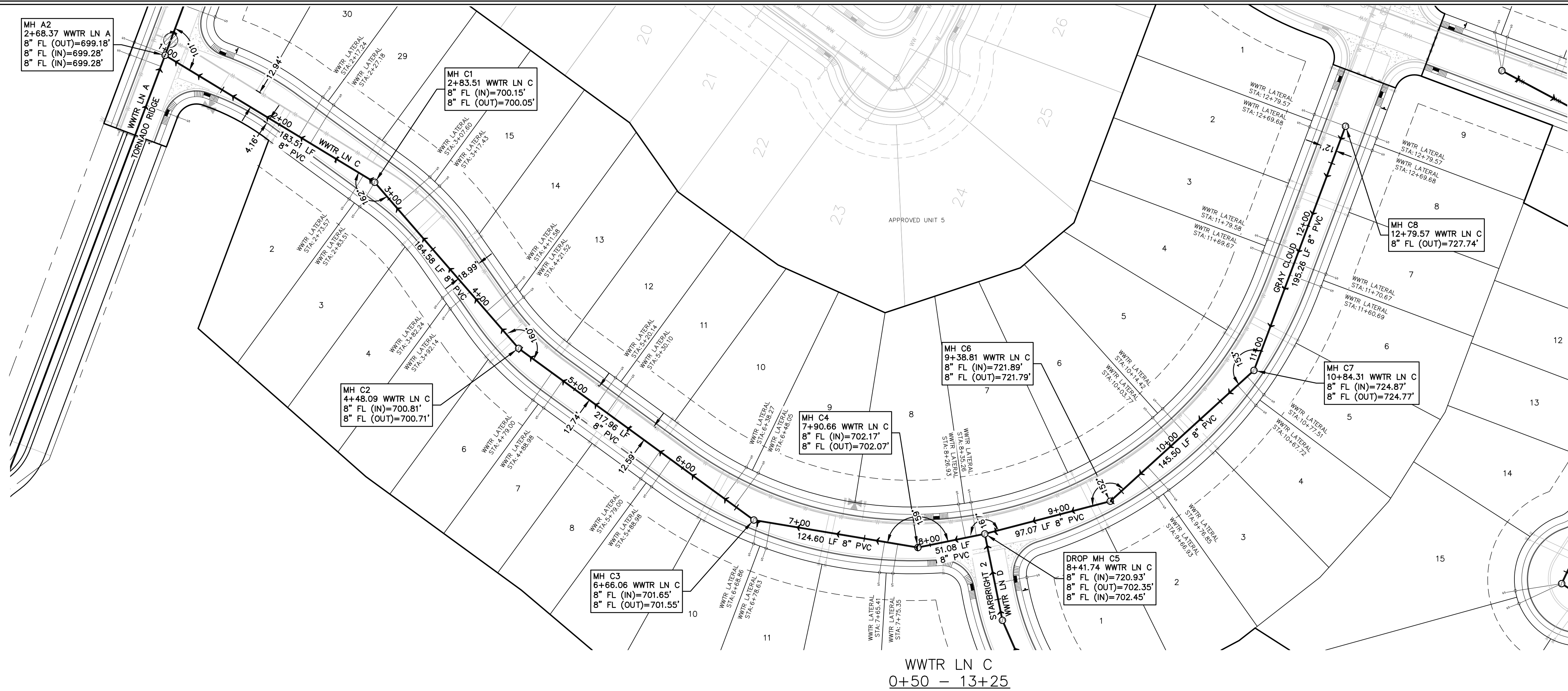
DRAWN BY: JMM

DESIGNED BY: JMM

REVIEWED BY: CVH

HMT PROJECT NO.: 056.018

SHEET
C9.01

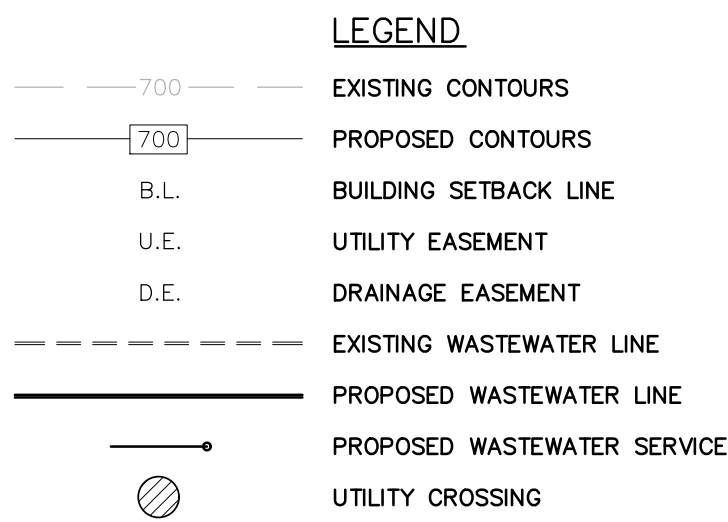


UTILITY TRENCH COMPACTION

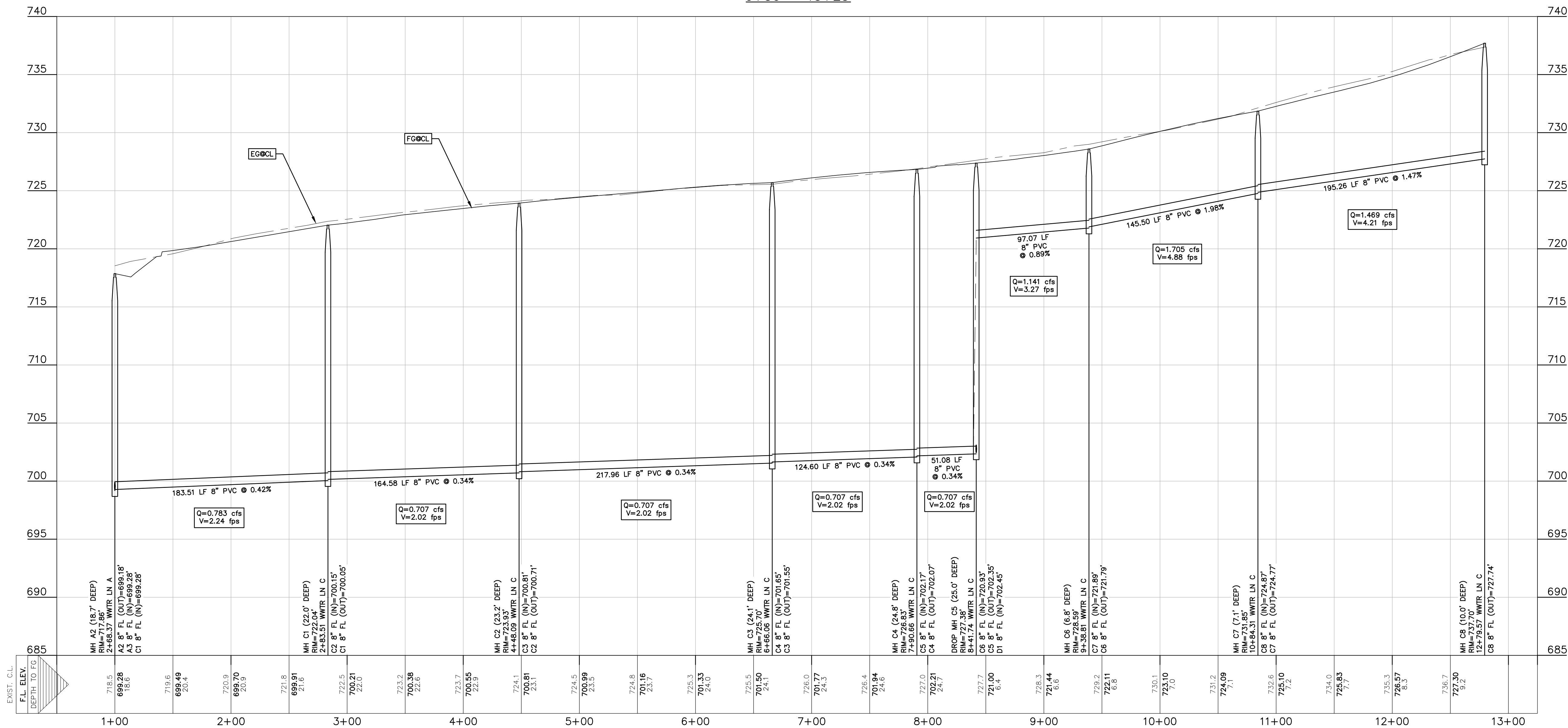
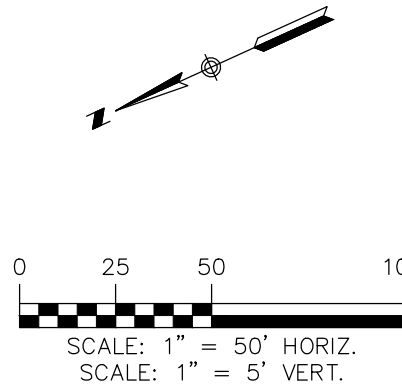
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290 S. CASTELL AVE., STE. 100
NEW BRAUNFELS, TX 78130
TBPE FIRM F-10961
TBPLS FIRM 1053600



08/07/2020

WWTR LN C
PLAN & PROFILE
CLOUD COUNTRY
UNITS 6 & 8

NO.	REVISION DESCRIPTION	REVISION DATE

DATE: AUGUST 2020

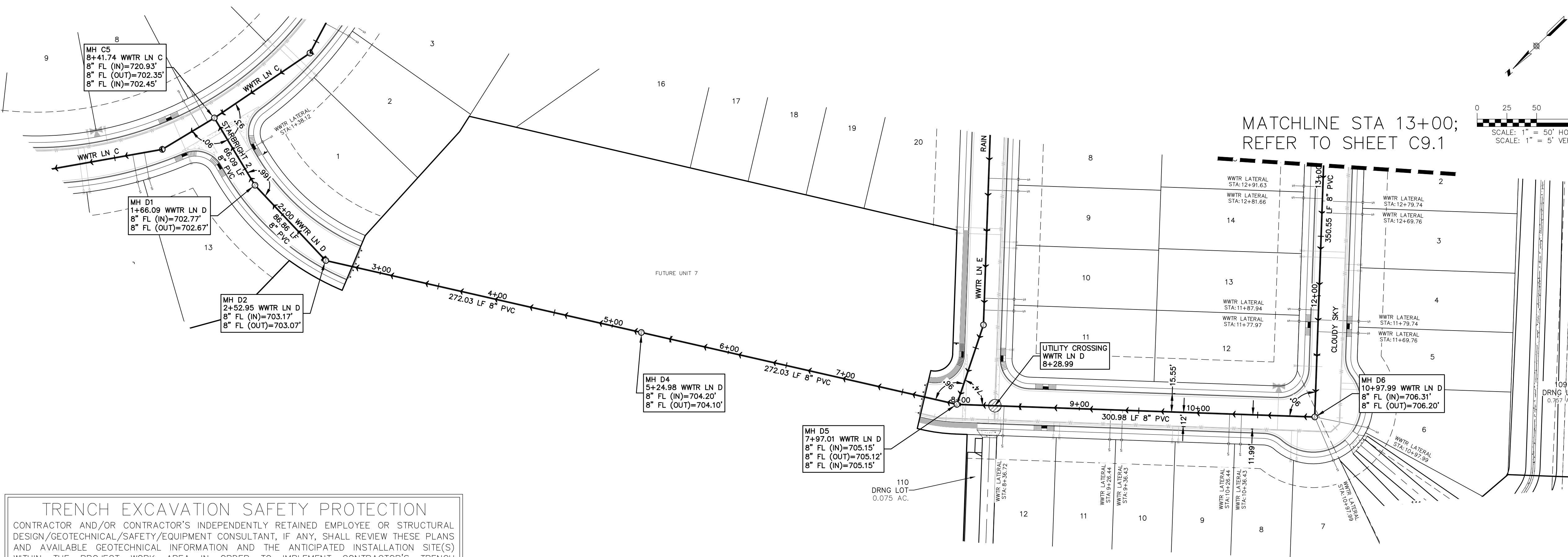
DRAWN BY: JMM

DESIGNED BY: JMM

REVIEWED BY: CVH

HMT PROJECT NO.:
056.018

SHEET
C9.02



TRENCH EXCAVATION SAFETY PROTECTION

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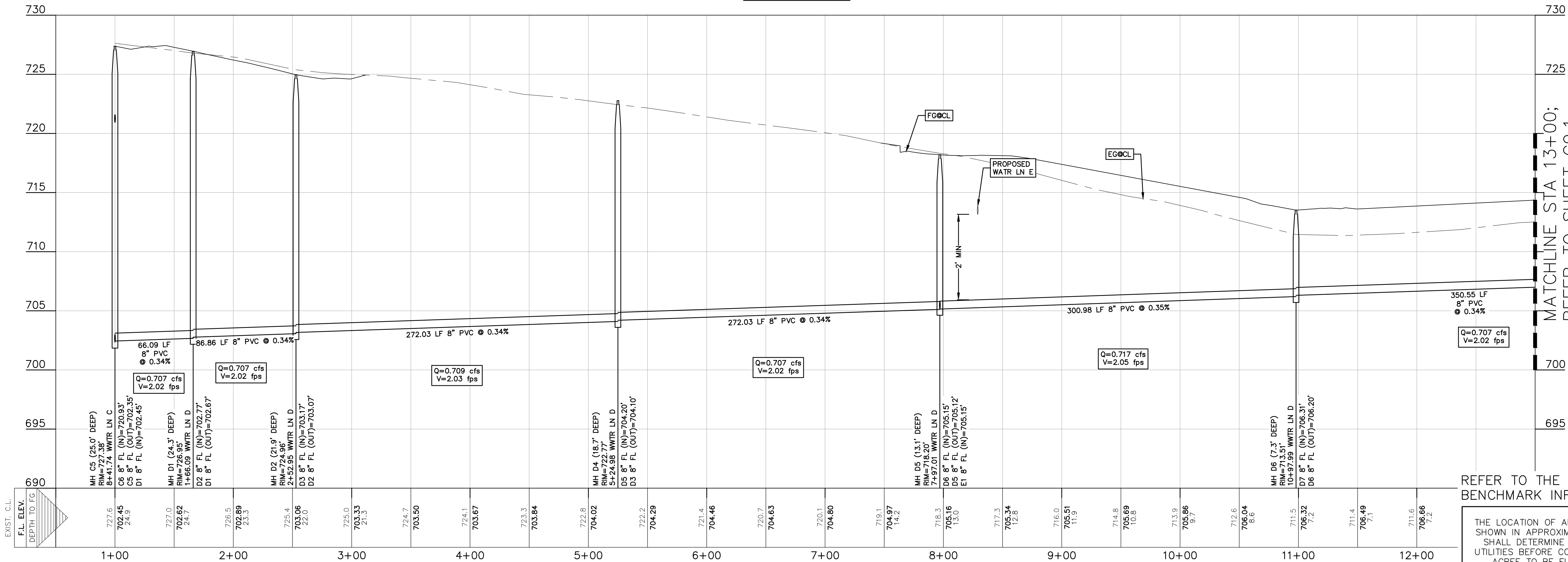
- LEGEND**
- 700 EXISTING CONTOURS
 - 700 PROPOSED CONTOURS
 - B.L. BUILDING SETBACK LINE
 - U.E. UTILITY EASEMENT
 - D.E. DRAINAGE EASEMENT
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 - PROPOSED WASTEWATER LINE
 - PROPOSED WASTEWATER SERVICE
 - UTILITY CROSSING

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WWTR LN D
0+50 - 13+00



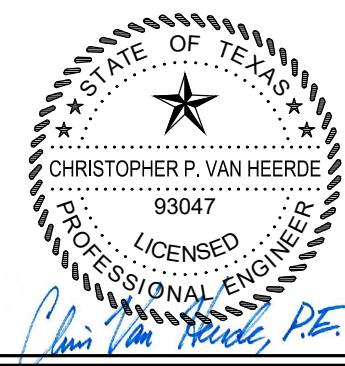
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290 S. CASTELL AVE., STE. 100
NEW BRAUNFELS, TX 78130
TBE FIRM F-10961
TBLPS FIRM 1053600



08/07/2020

WWTR LN D PLAN & PROFILE
(1 OF 2)
CLOUD COUNTRY
UNITS 6 & 8

NO.	REVISION	DESCRIPTION	REVISION DATE

DATE: AUGUST 2020

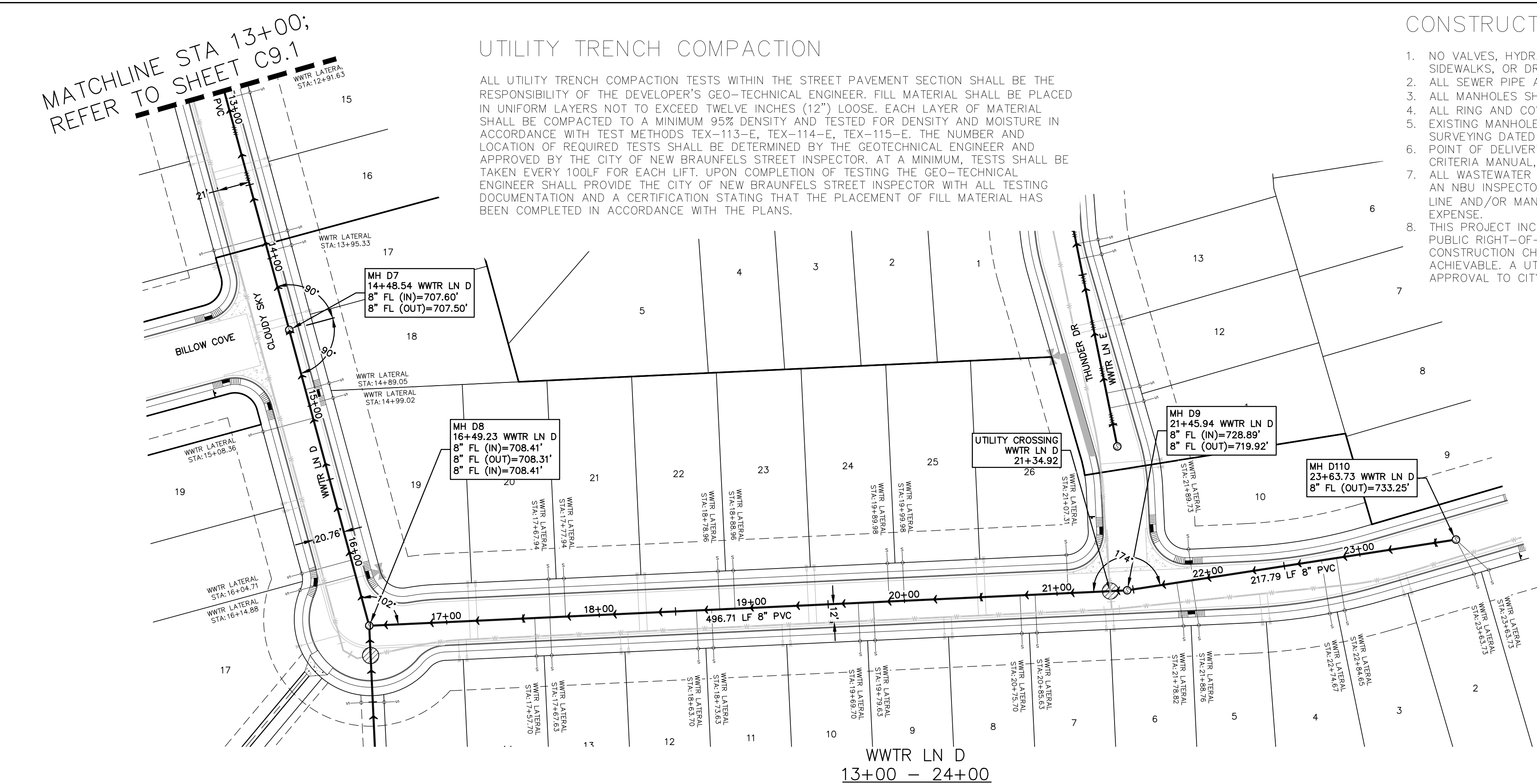
DRAWN BY: JMM

DESIGNED BY: JMM

REVIEWED BY: CVH

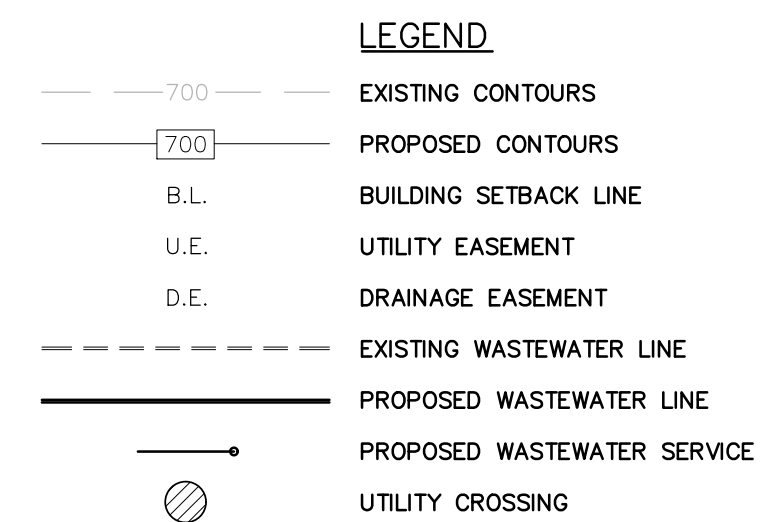
HMT PROJECT NO.: 056.018

SHEET
C9.03



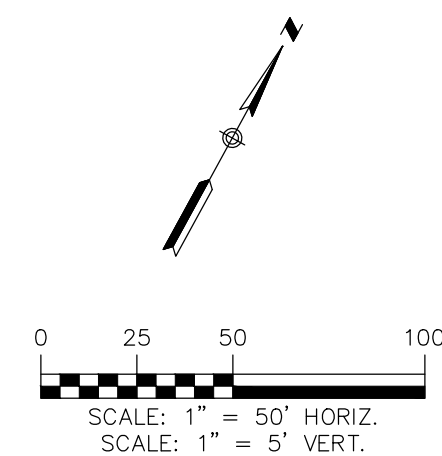
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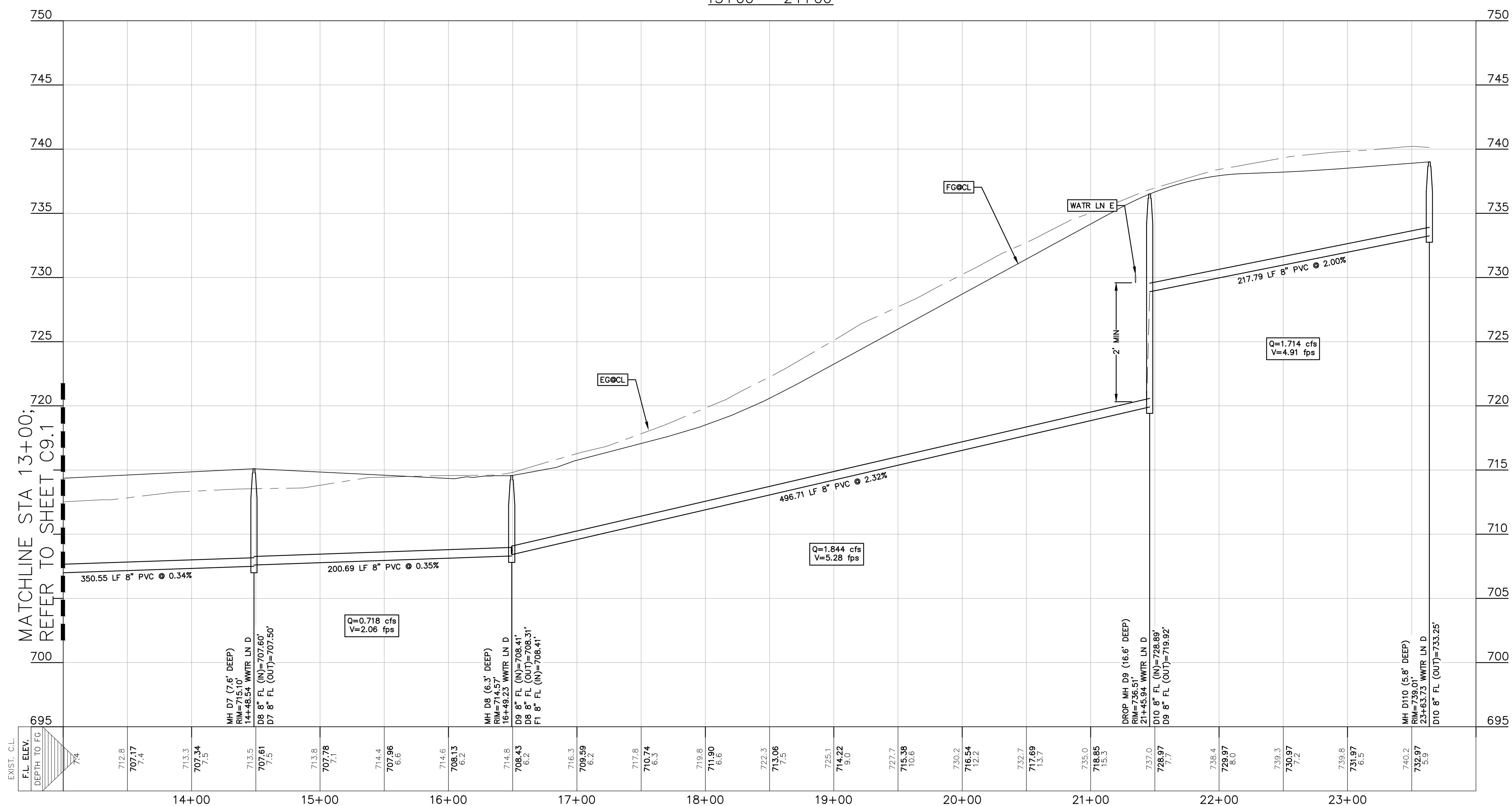
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NEW BRAUNFELS, TX 78130
TBPE FIRM F-10961
TBPLS FIRM 1053600



08/07/2020

**WWTR LN D PLAN & PROFILE
(2 OF 2)**

CLOUD COUNTRY
UNITS 6 & 8

[illegible]

DATE: AUGUST 2020

DRAWN BY: JMM

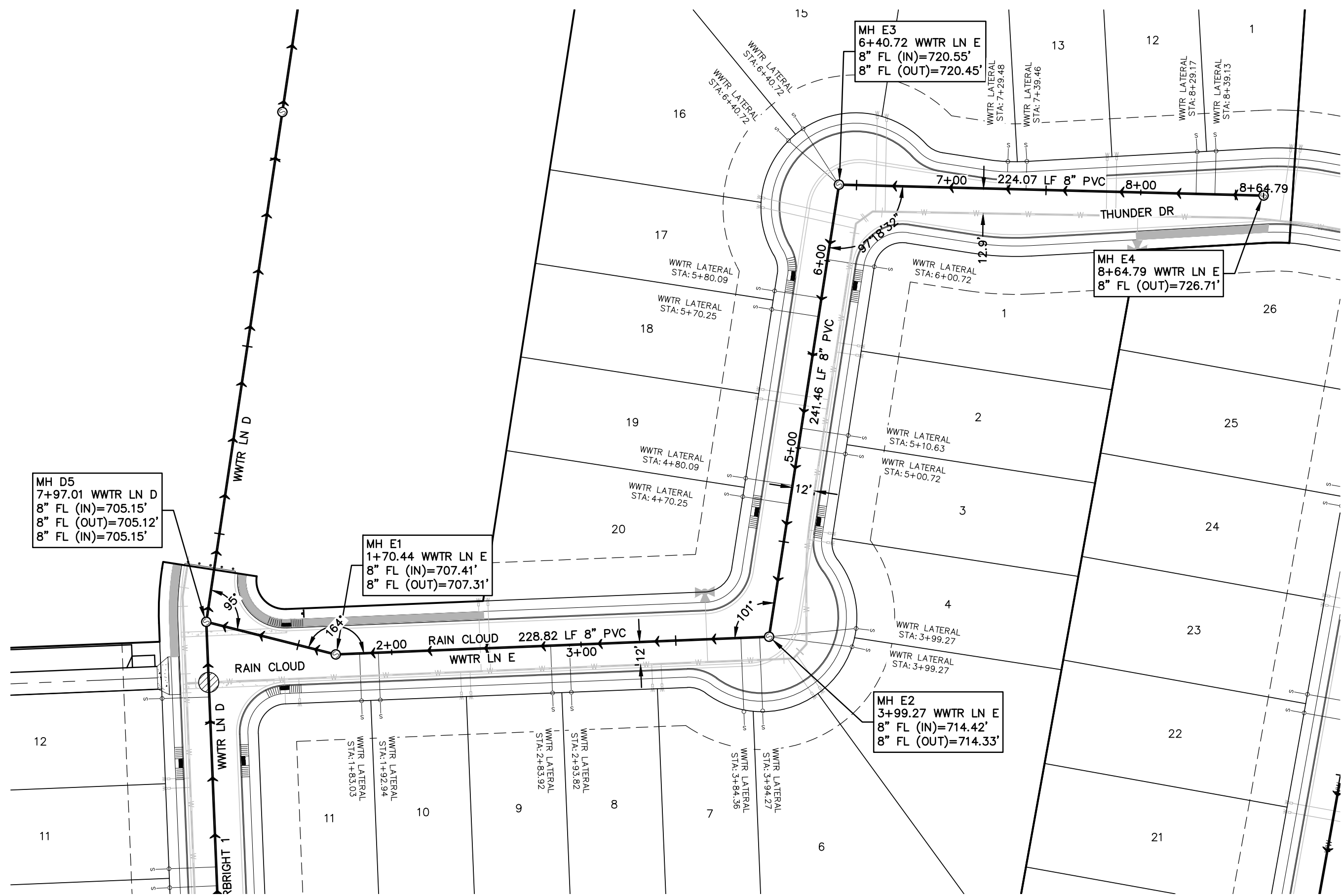
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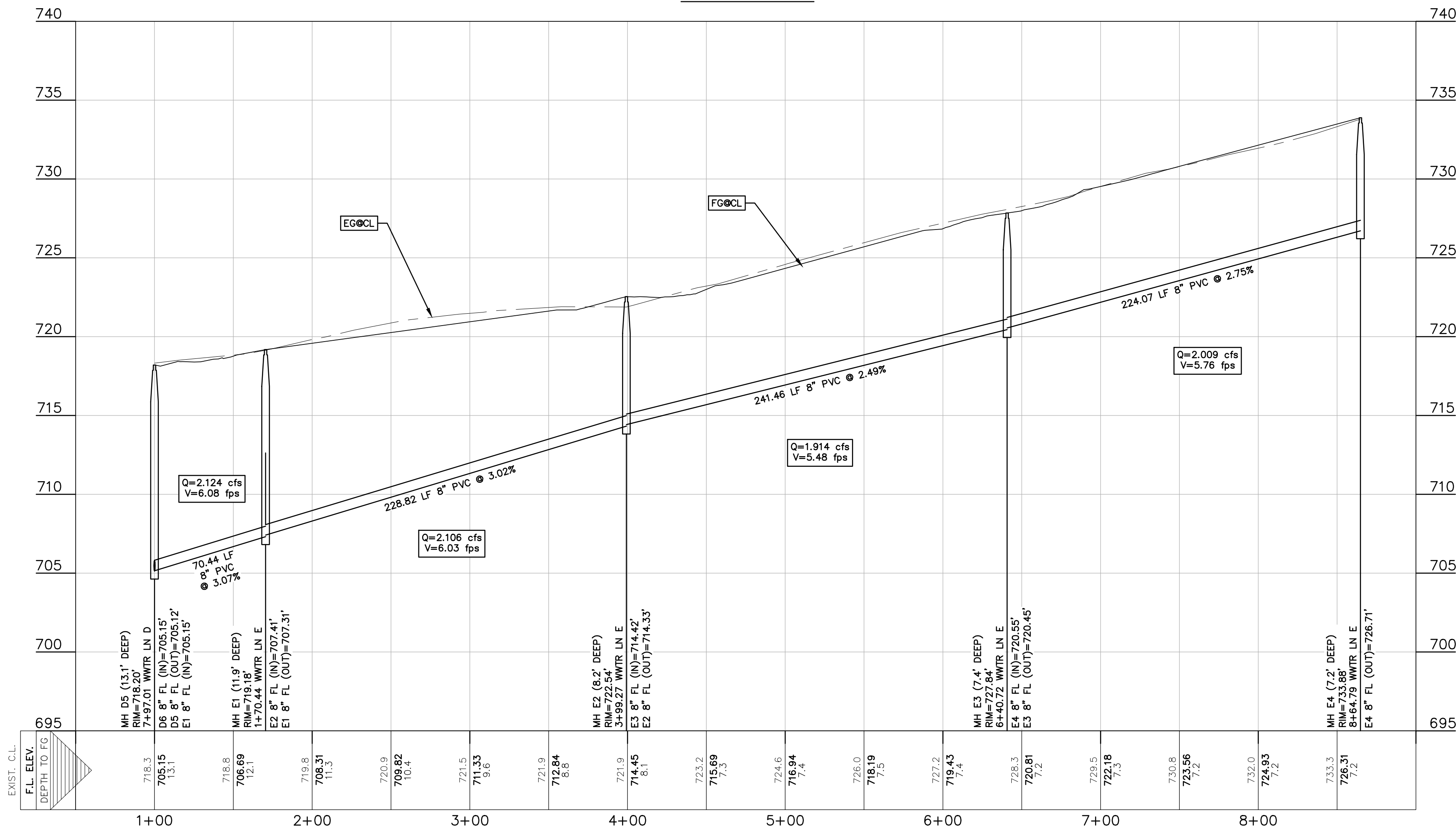
HMT PROJECT NO.:

SHEET

C9.04

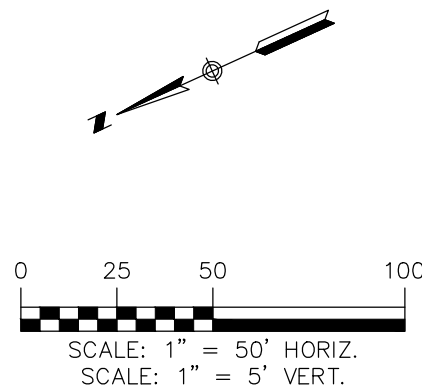


WWTR LN E
0+50 - 9+00



- LEGEND**
- EXISTING CONTOURS
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 - B.L. BUILDING SETBACK LINE
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TRENCH EXCAVATION SAFETY PROTECTION

CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR STRUCTURAL DESIGN/GEOTECHNICAL/SAFETY/EQUIPMENT CONSULTANT, IF ANY, SHALL REVIEW THESE PLANS AND AVAILABLE GEOTECHNICAL INFORMATION AND THE ANTICIPATED INSTALLATION SITE(S) WITHIN THE PROJECT WORK AREA IN ORDER TO IMPLEMENT CONTRACTOR'S TRENCH EXCAVATION SAFETY PROTECTION SYSTEMS, PROGRAMS AND/OR PROCEDURES FOR THE PROJECT DESCRIBED IN THE CONTRACT DOCUMENTS. THE CONTRACTORS IMPLEMENTATION OF THESE SYSTEMS, PROGRAMS AND/OR PROCEDURES SHALL PROVIDE FOR ADEQUATE TRENCH EXCAVATION SAFETY PROTECTION THAT COMPLY WITH AS A MINIMUM, OSHA STANDARDS FOR TRENCH EXCAVATIONS. SPECIFICALLY, CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATIONS.

REFER TO THE COVER SHEET
FOR BENCHMARK INFORMATION.

THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR WILL AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE INCURRED BY THEIR FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES, STRUCTURES OR FACILITIES. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES 24-HOURS PRIOR TO COMMENCING CONSTRUCTION.

290 S. CASTELL AVE., STE. 100
NEW BRAUNFELS, TX 78130
TBPE FIRM F-10961
TBPLS FIRM 1053600



08/07/2020

WWTR LN E
PLAN & PROFILE
CLOUD COUNTRY
UNITS 6 & 8

REVISION	DESCRIPTION	DATE
NO.		

DATE: AUGUST 2020

DRAWN BY: JMM

DESIGNED BY: JMM

REVIEWED BY: CVH

HMT PROJECT NO.:
056.018

SHEET
C9.05



TRENCH EXCAVATION SAFETY PROTECTION

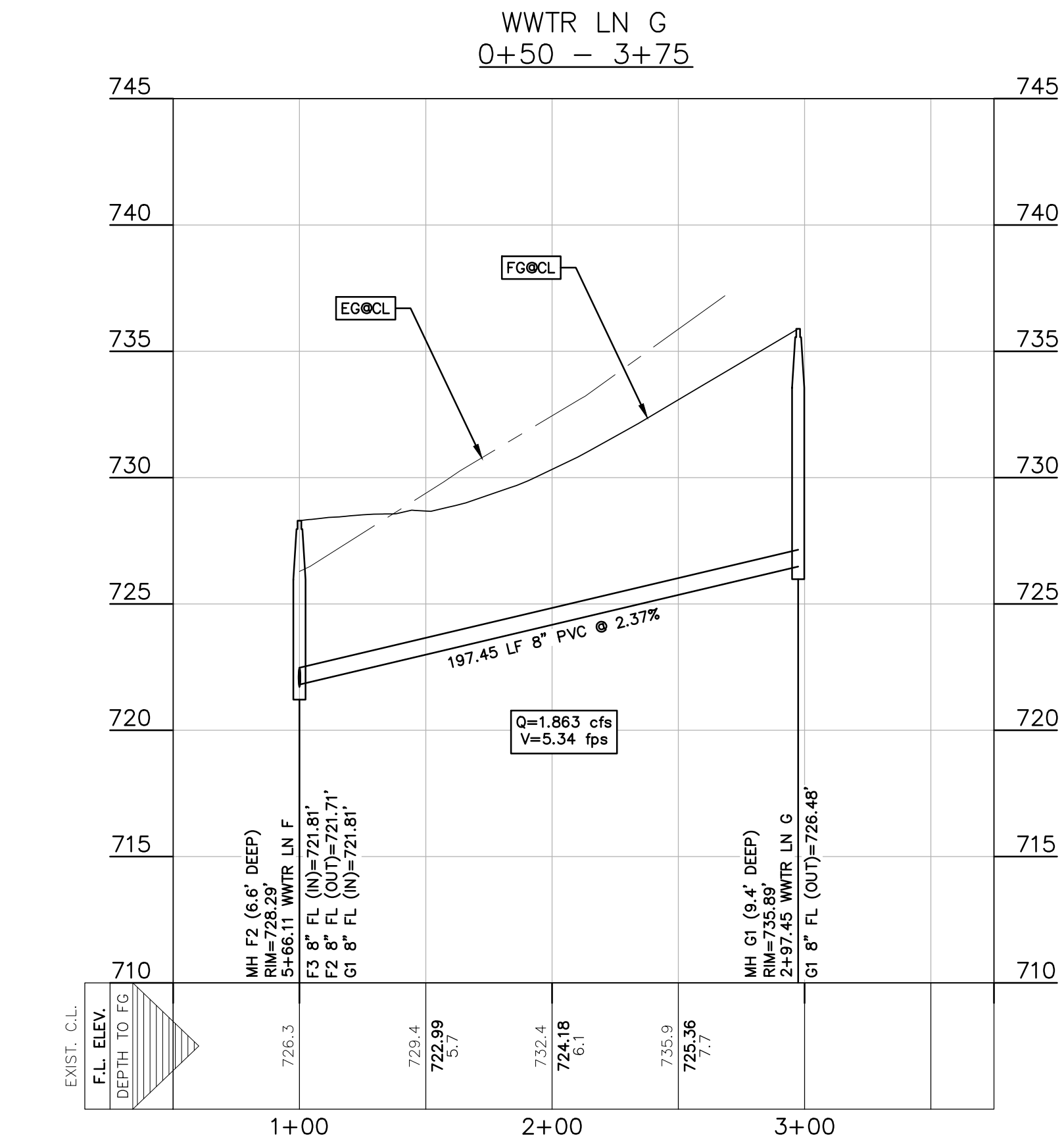
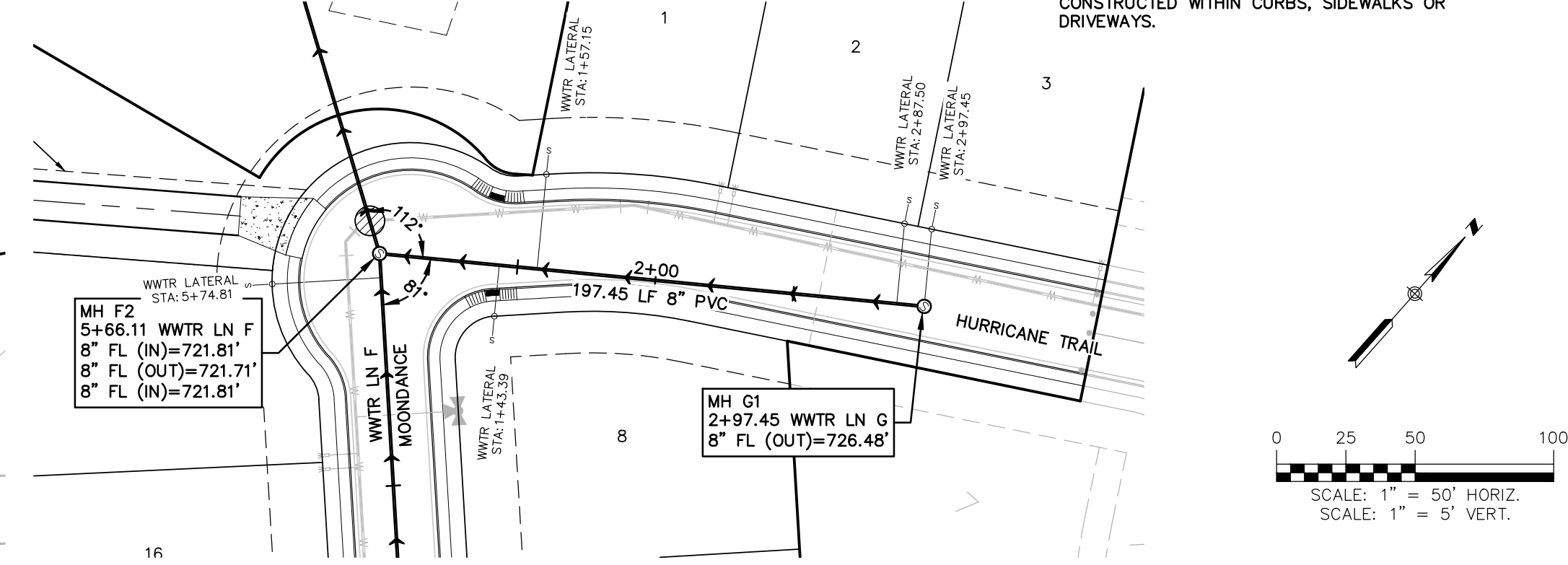
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LEGEND

- 700 EXISTING CONTOURS
- 700 PROPOSED CONTOURS
- B.L. BUILDING SETBACK LINE
- U.E. UTILITY EASEMENT
- D.E. DRAINAGE EASEMENT
- EXISTING WASTEWATER LINE
- PROPOSED WASTEWATER LINE
- PROPOSED WASTEWATER SERVICE
- UTILITY CROSSING

UTILITY NOTES:

- ALL UTILITIES TO BE CONSTRUCTED PRIOR TO THE STREETS.
- NO VALVES, HYDRANTS, ETC. SHALL BE CONSTRUCTED WITHIN CURBS, SIDEWALKS OR DRIVEWAYS.



CONSTRUCTION NOTES:

- NO VALVES, HYDRANTS, CLEAN-OUTS, ETC. SHALL BE CONSTRUCTED WITHIN CURBS, SIDEWALKS, OR DRIVEWAYS.
- ALL SEWER PIPE ASTM 3034 (115 PSI)
- ALL MANHOLES SHALL BE 48" DIAMETER.
- ALL RING AND COVER SHALL BE 32" DIAMETER.
- EXISTING MANHOLES, RIM AND FLOWLINE ELEVATIONS SURVEYED BY HMT ENGINEERING & SURVEYING DATED SEPTEMBER 10, 2019.
- POINT OF DELIVERY SHALL BE IN ACCORDANCE WITH NBU WATER AND WASTEWATER DESIGN CRITERIA MANUAL, SECTION 2.3.0.
- ALL WASTEWATER LINES AND MANHOLES WITH DEPTHS GREATER THAN 15 FEET MUST HAVE AN NBU INSPECTOR PRESENT DURING INSTALLATION. IF THE INSPECTOR IS NOT PRESENT, THE LINE AND/OR MANHOLE IS SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
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C9.06

